

CASE SUMMARY

CASE SUMMARY
Regular Agenda

PC Hearing Date: July 10, 2024

BCC Hearing Date: July 30, 2024

23-116550RZ Rezoning

Case Name: Red Rocks Pointe, Lot 1 - ODP

Owner/Applicant: Craig R. Gardner

Location: 5067 S Eldridge St, Morrison
Section 7, Township 5 South, Range 69 West

Approximate Area: 1.34 Acres

Purpose: Rezone from Planned Development (PD) to a new Planned Development (PD) to allow ten (10) dwelling units as Two-Family Dwellings.

Case Manager: Sara Hutchinson

Representative: Richard Miller, Progressive Planning Services of Colorado

Issues:

- None

Recommendations:

- **Staff:** Recommends APPROVAL

Interested Parties:

- None

Level of Community Interest: Moderate

General Location: Northwest of the intersection of S Eldridge Street and W Belleview Avenue

Case Manager Information: Phone: 303-271-8732 e-mail: shutchin@jeffco.us

PC RESOLUTION

It was moved by Commissioner **Spencer** that the following Resolution be adopted:

BEFORE THE PLANNING COMMISSION
COUNTY OF JEFFERSON
STATE OF COLORADO

July 10, 2024

RESOLUTION

23-116550RZ Rezoning
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Owner/Applicant: Craig R. Gardner
Location: 5067 S Eldridge St, Morrison
Section 7, Township 5 South, Range 69 West
Approximate Area: 1.34 Acres
Purpose: **Rezone from Planned Development (PD) to a new Planned Development (PD) to allow ten (10) dwelling units as Two-Family Dwellings.**
Case Manager: Sara Hutchinson

The Jefferson County Planning Commission hereby recommends **APPROVAL**, of the above application, on the basis of the following facts:

1. That the factors upon which this decision is based include evidence and testimony and staff findings presented in this case.
2. The Planning Commission finds that:
 - A. The Rezoning proposal to allow for to allow for ten (10) dwelling units as Two-Family Dwellings is compatible with the existing and allowable residential land uses in the surrounding area as it is a similar residential use to the properties to the east and north.
 - B. The proposal is in conformance with the Comprehensive Master Plan (Plan). It meets the Plan's land use recommendations for a residential development, and all other applicable sections of the Plan goals and policies are met.
 - C. The ability to mitigate the negative impacts of the proposed land use upon the surrounding area has been considered. The negative impacts are found to be minimal and mitigated with the

restrictions set forth in the proposed Official Development Plan (ODP) document. Restrictions to mitigate potential impacts include restrictions on allowed uses and modified development standards.

- D. The subject property is served by West Metro Fire Protection District and the Jefferson County Sheriff's Office. Water and wastewater services will be provided by Willowbrook Water and Sanitation District. Services are available and adequate to service the property.
- E. The proposed land use will not result in significant impacts to the health, safety, and welfare of the residents and landowners in the surrounding area.

Commissioner **Liles** seconded the adoption of the foregoing Resolution, and upon a vote of the Planning Commission as follows:

Commissioner	Rogers	aye
Commissioner	Spencer	aye
Commissioner	Duncan	aye
Commissioner	Liles	aye
Commissioner	Carpenter	aye

The Resolution was adopted by **unanimous** vote of the Planning Commission of the County of Jefferson, State of Colorado.

I, Kimi Schillinger, Executive Secretary for the Jefferson County Planning Commission, do hereby certify that the foregoing is a true copy of a Resolution duly adopted by the Jefferson County Planning Commission at a regular hearing held in Jefferson County, Colorado, July 10, 2024.



Kimi Schillinger
Executive Secretary

STAFF REPORT

Case Number:
23-116550RZ

Summary of Process

- The Staff evaluation of an application will be presented at the required Planning Commission and Board of County Commissioners' Hearings.
- The Planning Commission will review the evidence and will make a recommendation to the Board of County Commissioners.
- The final decision on the request will be made by the Board of County Commissioners.

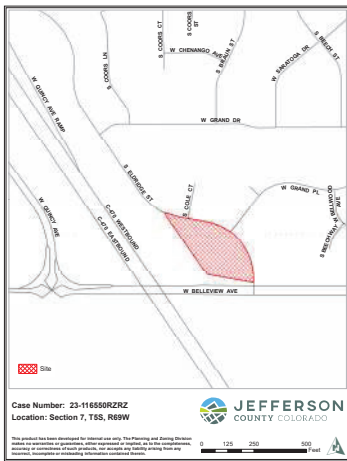
Case Summary

Rezone from Planned Development (PD) to a new Planned Development (PD) to allow ten (10) dwelling units as Two-Family Dwellings.

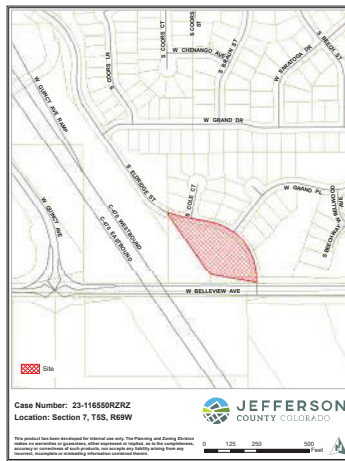
<i>Purpose</i>		Red Rocks Pointe, Lot 1 - ODP		Sara Hutchinson	September 7, 2023	
<i>Case Name</i>		June 30, 2022		Case Manager	Formal Submittal Date	
<i>Pre-Application Date</i>		March 29, 2023	July 10, 2024	July 30, 2024	Subdivision Plat	
<i>Community Meeting Date</i>		<i>PC Hearing Date</i>		<i>BCC Hearing Date</i>		<i>Next Process</i>
Richard Miller, Progressive Planning Services of Colorado (Representative) Craig R. Gardner						
<i>Applicant/Representative, check if same as owner:</i> <input type="checkbox"/> <i>Owner</i>						
5067 S Eldridge Street	Morrison	80465	1.34 acres	7	5 South	69 West
<i>Property Address</i>	<i>City</i>	<i>Zip</i>	<i>Area ≈</i>	<i>Section</i>	<i>Township</i>	<i>Range</i>
59-074-10-001	Northwest of the intersection of S Eldridge Street and W Belleview Avenue					
<i>Pin</i>	<i>General Location</i>					

Land Use and Zoning

Vicinity



Detail



Surrounding Zoning



<i>Existing Land Use:</i> Vacant	<i>Existing Zoning:</i> Planned Development (PD)	<i>CMP Recommended Land Use:</i> Limited Commercial and/or Residential	<i>Requested Zoning:</i> Planned Development (PD)
<i>Plan Area:</i> South Plains	<i>Number of citizens at Community Meetings:</i> 26		
<i>PC Recommendations:</i> Approval	<i>Level of Community Interest:</i> Moderate		
<i>Key Issues:</i> None			

Criteria for Rezoning:

- The compatibility with existing and allowable land uses in the surrounding area.
- The degree of conformance with applicable land use plans.
- The ability to mitigate negative impacts upon the surrounding area.
- The availability of infrastructure and services.
- The effect upon the health, safety, and welfare of the residents and landowners in the surrounding area.

✓	○	✗
☒	☐	☐
☒	☐	☐
☒	☐	☐
☒	☐	☐
☒	☐	☐

1. SUBJECT REQUEST



Figure 1: Location of subject property.

The applicant is requesting to Rezone the existing Planned Development (PD) zone district to create a new Planned Development (PD) zone district to allow for ten (10) dwelling units as Two-Family Dwellings.

The applicant is requesting to create a new Planned Development, the Red Rocks Pointe, Lot 1 - Official Development Plan (ODP), to allow all restrictions defined by the Jefferson County Residential – Two (R-2) zone district with specific exceptions to allow up to ten dwelling units in the form of Two-Family Dwelling units. Additional modifications defined by the ODP would be to allow for up to ten lots, a minimum lot size of 1,800 square feet, modified setbacks (for the ODP area and for each lot), parking requirements, and a separate tract for a trail and exercise stations.

2. CONTEXT

The subject property is in central Jefferson County on the east side of C-470, northwest of the intersection of S Eldridge Street and W Belleview Avenue. This parcel is adjacent to residential properties to the north and east, and adjacent to right-of-way (ROW) to the west and south. The lots to the north and east are zoned Planned Development (PD). The lots to the west and south are zoned Agricultural – Two (A-2). This area is primarily characterized by single-family residential land uses.

There are no structures on the property. This property is currently in Use Area C in the Red Rocks Pointe Official Development Plan, which has the land use designation of Neighborhood Office / Business. The zoning went into effect for this property in 2001. This Rezoning has been requested in order to allow up to ten dwelling units on the property.

3. SURROUNDING ZONING/LAND USE

	Adjacent Zoning	Land Use
North:	Planned Development (PD)	Single-Family Residential
South:	Agricultural – Two (A-2)	Right of Way, Vacant Land
East:	Planned Development (PD)	Single-Family Residential
West:	Agricultural – Two (A-2)	Right of Way

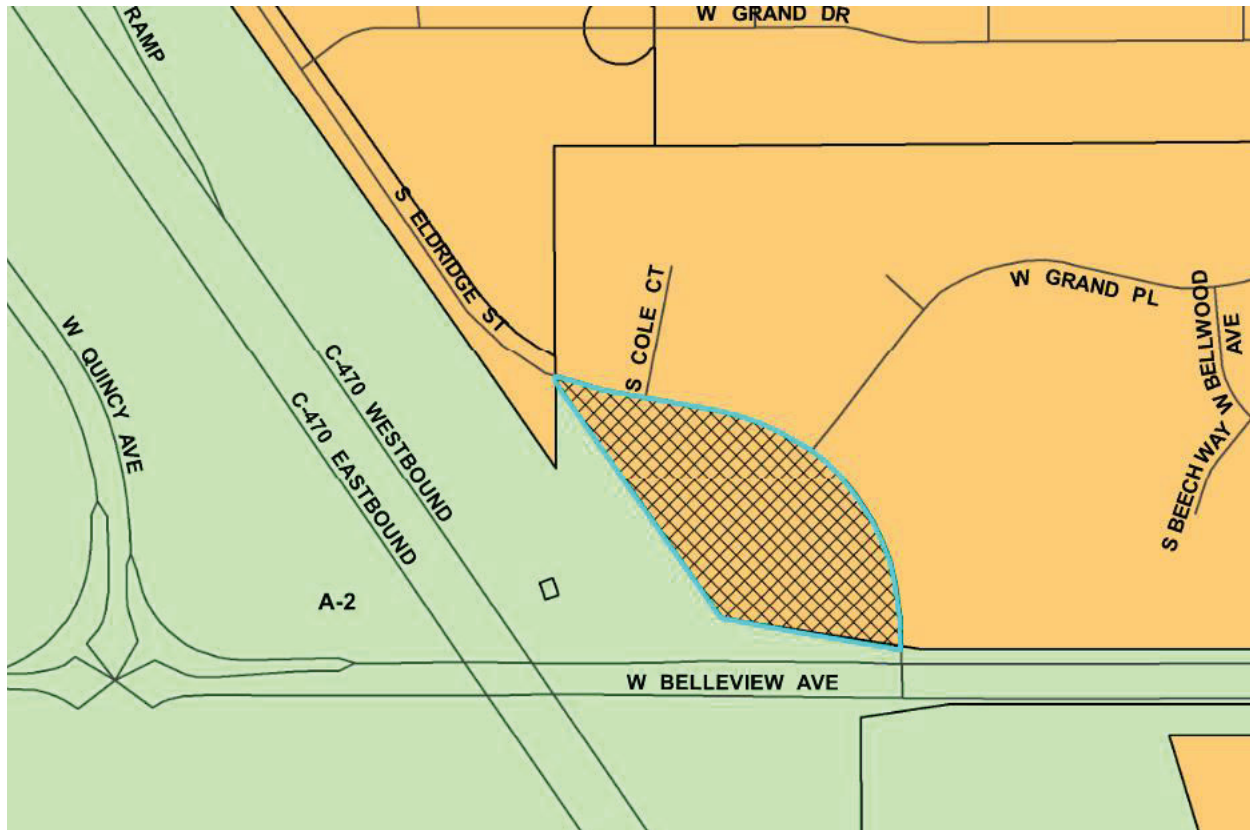


Figure 2: Zoning map of subject property and surrounding area.

4. SUMMARY OF PROPOSED CHANGES

	Current Zoning	Proposed Zoning
Uses	Neighborhood Office / Business Ancillary parking and loading areas	Two-Family Dwellings
Setbacks	Bellevue Avenue: 40 feet Internal Streets: 25 feet Internal Lot Lines: 0 feet External Property Lines: 15 feet Minimum Distance Between Structures: 20 feet Common Wall Buildings: 0 feet	Setbacks from ODP Boundary: Front (S Eldridge): 10 feet Side (W Bellevue): 20 feet Rear (C-470): 30 feet Setbacks for each lot (interior): Front: 20 feet Side (interior): 5 feet Rear (interior): 5 feet
Number of Lots	Maximum of two	Maximum of ten

Height	30 feet	35 feet
Parking	Minimum of three parking spaces per 1,000 square feet GLA	Minimum of two parking spaces within the garages for each attached residential unit Driveways for each building shall be large enough to accommodate two parking spaces, excluding any adjacent sidewalk areas
Open Space/Trail	N/A	Tract for trail and four exercise stations around perimeter

5. TRANSPORTATION

The proposed Rezoning to allow for the residential uses on the subject property is anticipated to have minimal impacts to the existing transportation network. Access to this property is from S Eldridge Street, a paved County-maintained Collector street. Staff does not have concerns about the traffic levels that would be generated through this Rezoning.

6. CRITERIA FOR DECISIONS FOR PLANNED DEVELOPMENT REZONING APPLICATIONS

Section 6 of the Zoning Resolution states, *In reviewing Rezoning and Special Use applications, the Planning Commission and the Board of County Commissioners may consider the following criteria:*

- ✓ a. *The compatibility with existing and allowable land uses in the surrounding area.*
 - ✓ b. *The degree of conformance with applicable land use plans.*
 - ✓ c. *The ability to mitigate negative impacts upon the surrounding area.*
 - ✓ d. *The availability of infrastructure and services.*
 - ✓ e. *The effect upon the health, safety, and welfare of the residents and landowners in the surrounding area.*
-

a. The compatibility with existing and allowable land uses in the surrounding area.

The proposed uses are compatible with the existing and allowable land uses in the area. The proposed zoning pairs well with existing residential uses already surrounding the subject property. If Rezoning is approved, the impacts to the surrounding community are expected to be minimal. The proposed allowed uses in the ODP are restricted to prohibit more intensive land uses.

b. The degree of conformance with applicable land use plans.

The Comprehensive Master Plan (CMP), an advisory document required by State statute, contains Goals and Policies that are used to guide land use decisions. The Area Plans section of the CMP contains supplementary policies and land use recommendations for evaluation.

	Summary	Conforms with CMP? ✓ ○ ✗
Land Use	The CMP discusses the need for a variety of uses to create a vibrant, enduring community. The Plan encourages diverse communities in which to live, work, and enjoy outdoor recreation.	✓
Physical Constraints	The CMP describes physical constraints as those physical features that due to safety concerns may potentially restrict where and how development occurs. Physical Constraints include geologic hazards and constraints, floodplains, wetlands, wildfire, radiation, landfills, abandoned mines, and wildlife habitat	✓
Community Resources	The CMP contains policies that relate to historic structures or sites, scenic corridors, natural features, air quality, light, odor and noise pollution, open space and trails.	✓
Infrastructure Water and Services	The CMP describes the importance of new developments having adequate Transportation, Water and Wastewater, and Services.	✓

Staff concludes that the subject request is in conformance with the applicable goals and policies of the Comprehensive Master Plan (CMP).

Land Use: The CMP recommends limited commercial and/or residential land uses for the subject area. The ODP has been drafted to allow up to ten dwelling units on the property. The CMP does not specify density for this area, and staff finds that the proposed density is compatible with the area. The density would provide a transition between the lower density residential uses to the north and east and the highway to the west, as well as the higher density residential uses the south. This proposal is in conformance with the recommendation within the CMP.

Physical Constraints: The CMP describes physical constraints as those physical features that due to safety concerns may potentially restrict where and how development occurs. The property is within the Designated Dipping Bedrock Overlay. The County has very specific standards for development in this overlay that mitigates this constraint. This property is within a High Wildlife Quality Area. The proposal would be required to follow all standard Zoning Resolution fencing requirements and would be evaluated by the Colorado Division of Parks and Wildlife at the time of formal submittal of the Plat. Therefore, the request is consistent with the Physical Constraints goals and policies of the CMP.

Community Resources: The Community Resources section contains policies that relate to historic structures or sites, scenic corridors, natural features, air quality, light, odor and noise pollution, open space and trails. There are no historic resources identified on this property. The property is adjacent to and visible from C-470. The South Plains Area Plan contains policies regarding highway corridors, with recommendations for a buffer along the highway and restrictions to allowed fencing and signage. The proposed ODP does not make any modifications to fencing or signage and would have to follow standard requirements within the ZR. Any proposed signage would be reviewed through a Miscellaneous permit. The South Plains Area Plan also discusses protecting views of the Hogback. The applicant provided a visual analysis of the proposed dwelling units at a previously proposed maximum height of 45 feet, which can be found within the case packet. The written restrictions have since been updated to reduce the maximum height to 35 feet, which is only five feet taller than the existing zone district would allow and is consistent with the allowed height for the residential dwellings to the east and north.

The development is unlikely to have major impacts to air, light, odor, and noise. If this request is approved, a sound study would be required at the time of Plat submittal. The property is adjacent to the regional C-470 trail. The CMP discusses creating trails that provide connections between recreational facilities, parks, amenities, and neighborhoods. Therefore, the request is consistent with the Community Resources goals and policies of the CMP.

Infrastructure, Water and Services: Existing infrastructure and services are available and adequate to support the uses proposed by this Rezoning. If this request is approved, traffic to the site is anticipated to be minimal. The existing access road is maintained by the County. The property is within the West Metro Fire Protection District and the Jefferson County Sheriff's Office provides law enforcement to the area. Water and wastewater services are provided by Willowbrook Water and Sanitation District. The applicable agencies have reviewed the proposed zoning and there are no concerns. Therefore, the request is consistent with the Infrastructure, Water and Services goals and policies of the CMP.

c. The ability to mitigate negative impacts upon the surrounding area.

Staff has not identified any negative impacts of the Rezoning to the surrounding area that have not been mitigated. The proposed uses will not result in significant light, air, odor, or noise impacts to the subject or surrounding properties. Visual impacts will be minimal to surrounding properties.

d. The availability of infrastructure and services.

The existing infrastructure and services are available and adequate to support the proposed Rezoning, as stated above.

e. The effect upon health, safety, and welfare of the residents and landowners in the surrounding area.

The proposed land use will not result in significant impacts to the health, safety, and welfare of the residents and landowners in the surrounding area. No unmitigated negative effects relating to the proposed Rezoning have been identified.

7. COMMERCIAL MINERAL DEPOSITS

No known commercial mineral deposits exist on the subject property.

8. COMMUNITY MEETING

A Community Meeting was held on March 29, 2023. There were 26 citizens in attendance. The general tone of the meeting was of concern. Questions presented by community members during the meeting related to traffic, parking, crime, property values, building design and materials, and the name of the proposed development. Please see the Community Meeting Summary included in this case packet for more details.

9. COMMUNITY/REFERRAL RESPONSES

During the processing of this Rezoning application, Staff received two community responses regarding this proposal. The first was concerned with other residential density in the area, and stated opposition to the project. The second stated concerns about impacts to bees on the site. The Colorado Department of Natural Resources staff stated that they would have no comments related to bees. Staff has not identified unresolved citizen comments.

10. AGENCY REFERRAL RESPONSES

This application was sent on referral to 11 Jefferson County Departments & Divisions, 11 external agencies, and 30 registered associations (please see the HOA mailing list in the case packet for more information). The request was sent on two referrals which both resulted in modifications to the proposed written restrictions related to permitted uses and lot and building standards. There are no known outstanding issues with the referral agencies.

11. NOTIFICATION

Notification of the proposed development was sent and posted in accordance with the Zoning Resolution. Please see the attached Notification Summary for more information.

12. POST HEARING REVIEW

If the Rezoning is approved, the post hearing review shall be in accordance with the Zoning Resolution as follows:

The applicant shall have 28 days after Board of County Commissioner's approval to submit a 'clean' copy of the approved red-marked ODP and pay the recordation fees. The Case Manager will have 7 days to review the submitted ODP. If the revisions have been made in accordance with the approval conditions, Staff will affirm and record the ODP documents, as appropriate. If the submitted documents are not in conformance with the approved red-marked ODP, the red-marked ODP shall be recorded.

13. SUBSEQUENT PROCESSES

If the Rezoning is approved, prior to construction of any buildings on the site a Preliminary and Final Plat would be required. Building Permits would be required after Plat approval. During these processes, the Plat would be sent on referral to numerous internal and external agencies. The Plat and Building Permit applications are processes that will ensure compliance with all of the County's development regulations.

the proposed development to prevent association with the neighboring HOA. The Planning Commission members discussed the appropriateness of the proposed "gentle" density to serve as a transition between the existing land uses, the low impacts of the proposed development, and the need for housing on infill sites like this. The Planning Commission approved a resolution unanimously recommending approval of the application.

BOARD OF COUNTY COMMISSIONERS ACTION:

The Board of County Commissioners is charged with reviewing the request, staff report, and Planning Commission recommendation, receiving testimony and evidence on the application and recommending approval or denial of the request to the Board of County Commissioners.

COMMENTS PREPARED BY:

Sara Hutchinson

Sara Hutchinson
Planner
July 17, 2024

PROPOSED ZONING

Red Rocks Pointe, Lot 1 - Official Development Plan
Rezoning Case Number: 23-116550RZ

A. Intent

This rezoning changes the zoning from Planned Development to Planned Development, allowing five (5) two-family dwelling units on approximately 1.33 acres of land.

B. Written Restrictions

All of the uses and standards of the Residential-Two (R-2) zone district (except single-family residential), and other applicable sections of the Zoning Resolution shall apply to the property as shown on the graphic attached hereto as Exhibit A and the legal description attached hereto as Exhibit B with the following modifications:

1. Permitted Uses

- a. Two-Family Dwelling Units

2. Lot and Building Standards

a. General

- 1. Maximum number of units: Ten (10)
- 2. Maximum number of lots: Ten (10)
- 3. Minimum Lot Size: 1,800 square feet
- 4. Building Setbacks:
 - 1. Setbacks from ODP Boundary
 - a. Front Setback (South Eldridge Street): Ten (10')
 - b. Side Setback (West Bellevue Avenue): Twenty-feet (20')
 - c. Rear Setback (C-470 Frontage): Thirty-feet (30')
 - 2. Setbacks for Each Lot (Interior)
 - a. Front setback: Twenty feet (20')
 - b. Side setback (Interior): Five feet (5')
 - c. Rear setback (Interior): Five feet (5')

3. Off-Street Parking Requirements

- a. A minimum of two (2) parking spaces shall be provided within the garages for each attached residential unit.

- b. Driveways for each building shall be large enough to accommodate two (2) parking spaces, excluding any adjacent sidewalk areas.

4. Open Space/Trail Plan

- a. A separate tract around the perimeter of the property shall contain a trail and four (4) exercise stations

APPROVED FOR RECORDING:

This Official Development Plan, titled Red Rocks Pointe, Lot 1 - Official Development Plan, was approved the _____ day of _____, 2024, by the Board of County Commissioners, of the County of Jefferson, State of Colorado and is approved for recording.

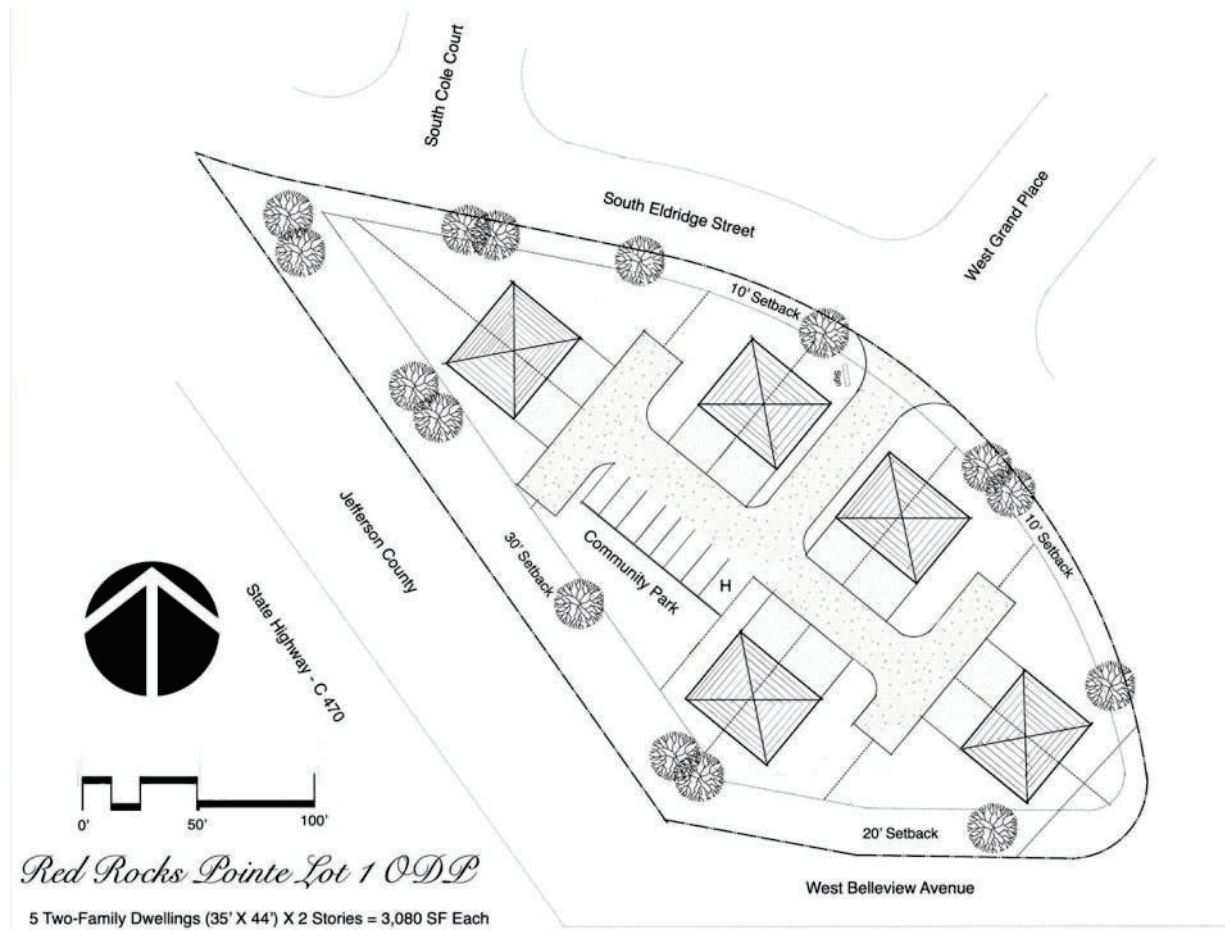
The owner of the property, at the time of approval, was:

By: Jefferson County Planning and Zoning Director

Signature: _____

Date: _____

Exhibit - A



MAPS



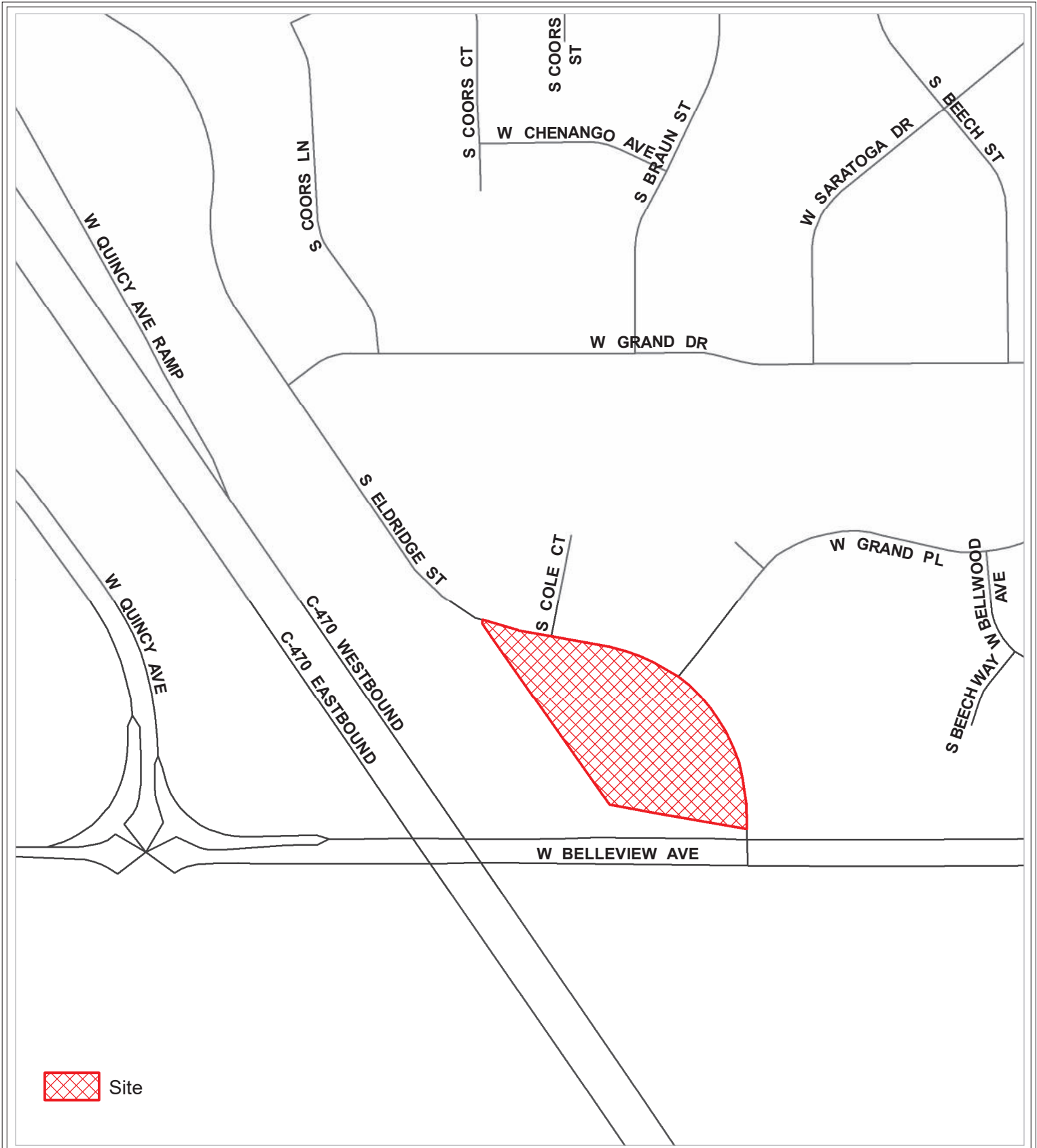
Case Number: 23-116550RZRZ
Location: Section 7, T5S, R69W



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 COUNTY COLORADO

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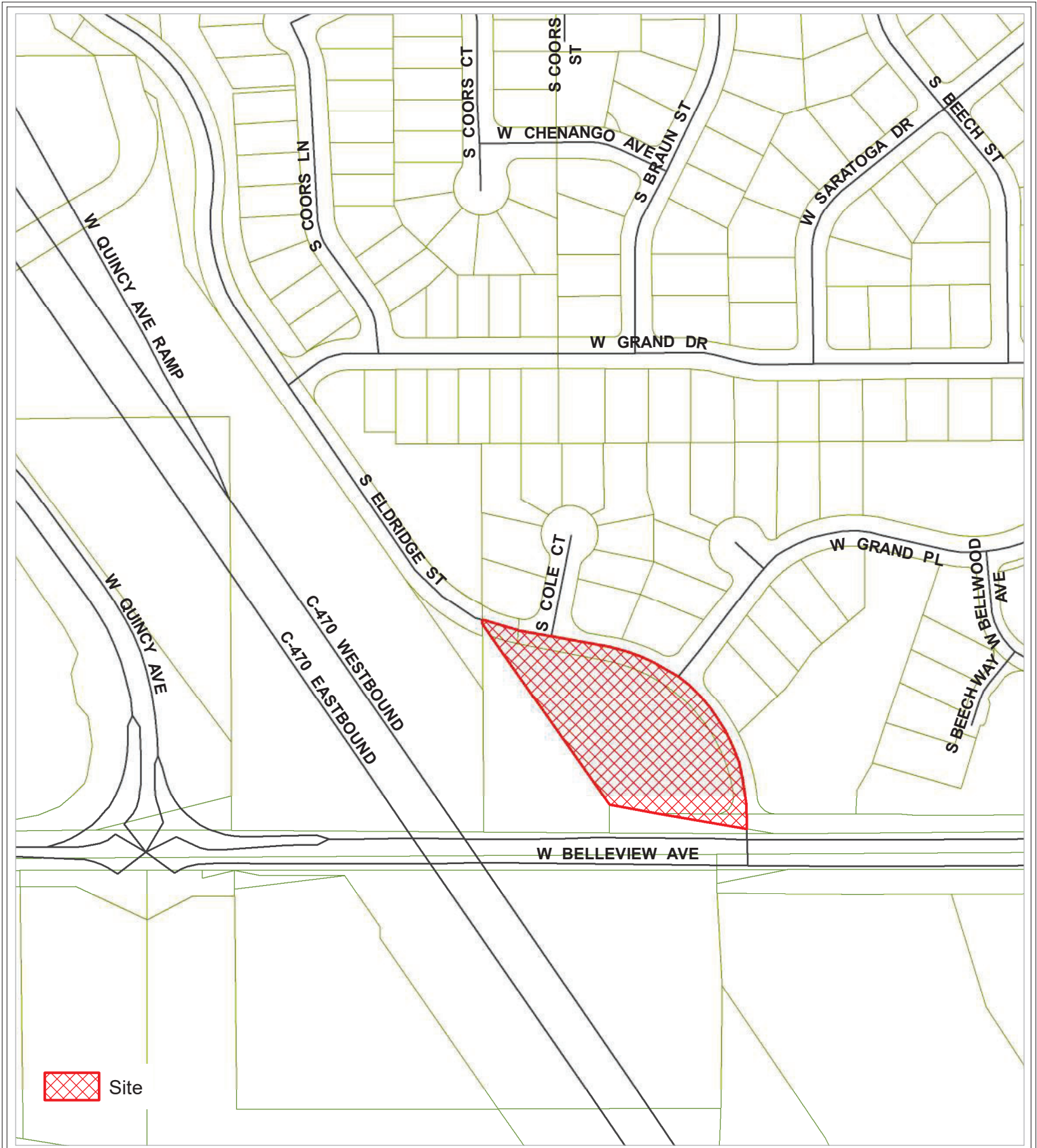
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 Site

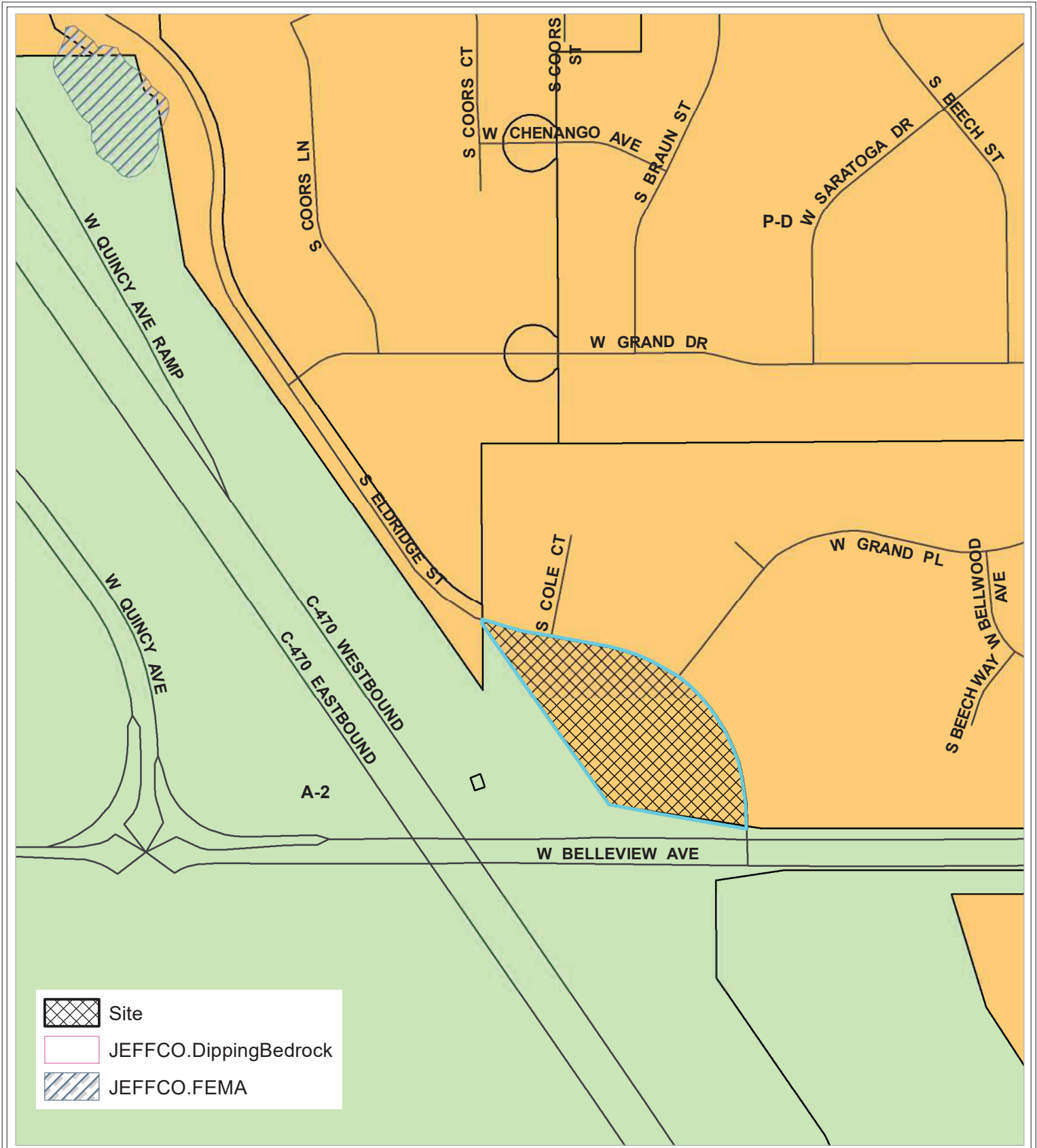
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Location: Section 7, T5S, R69W



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Case No. 23-116550RZ

Legal Description

Street Location of Property 5067 South Eldridge Street

Is there an existing structure at this address?

Yes _____

No X _____

Type the legal description and address below.

Red Rocks Point Lot 1, Block 3, Section 7, Township 5 South, Range 69 West, Quarter Section SE, also known by street and number as 5057 and 5067 Eldridge Road, County of Jefferson, State of Colorado

Section 7 Township 5 S. Range 69 W.

Calculated Acreage 1.34 Acres Checked by: Kendell Court

Address Assigned (or verified) 5067 South Eldridge Street

COMMUNITY MEETING SUMMARY



Planning &
Zoning Division

COMMUNITY MEETING SUMMARY

Case Number	Meeting Date	Approx. # of Citizens	# Signed in
23-1040423 CMT	3.29.2023	26	
Meeting Location			
Webex (virtual)			
Subject Property			
5067 S Eldridge St			
Property Owner		Applicant/Representative	
Craig Gardner		Richard Miller	

Summary of the Applicant's Presentation

Presentation is in the case folder.

Applicant talked about why they are rezoning and what they are rezoning from/to. He provided a comparison of existing allowed uses to the proposed use.

Information Presented/Format of the Meeting

The applicant screen shared their presentation which included maps and details about their rezoning proposal.

Overall Impression/Tone of Meeting

The applicants thoroughly covered their application and respectfully answered all community questions. The tone of the meeting was combative.

Main Points/Issues Raised by Citizens/Applicant's Response

Concerns were brought up about traffic and road conditions on Eldridge and nearby streets; traffic brought in by nearby development of 300+ homes exacerbated by this project; location of the parking of construction vehicles; parking spilling into the neighborhood/car abandonment. The applicant discussed the required traffic study that will be done as part of the rezoning. He discussed the proposed parking (garage, driveway, and on-street) that would be provided.

Concerns were brought up about reduction in property values for neighbors; the proposed dwellings being able to become rentals later on; the proposed dwellings being "Section 8" or otherwise affordable housing; potential poor quality design or materials. The applicant gave an estimated price point for the units and provided context for the costs. He discussed the quality of materials and layout of the site. He noted that he cannot restrict the zoning to prohibit rental units, and that the plan would be to sell the units initially.

Concerns were brought up about the name of the proposed developed (Red Rocks Pointe) and its similarities to the existing neighborhood name (Red Rocks Point); potential confusion with HOA names; the similarity of the proposed sign to the existing neighborhood's sign. The applicant explained that the name came from the original plat where this subdivision was all named Red Rocks Point. He stated willingness to work with the neighborhood and change the name and sign to avoid confusion.

REFERRAL COMMENTS

Sara Hutchinson

From: AUTOMAILER@JEFFCO.US
Sent: Tuesday, August 22, 2023 9:37 AM
To: Sara Hutchinson
Cc: Elizabeth Stoner
Subject: 23 116550 RZ - Agency Response

Follow Up Flag: Follow up
Flag Status: Flagged

Case Number: 23 116550 RZ

Case Type: Rezoning

Case Name: 5067 S Eldridge Street

Review: Open Space

Results: No Comment (no further review)

Review Comments:

Scheduled End Date: 06-SEP-23

Reviewer: Elizabeth Stoner

Description: PUD for Townhome Community

ADDRESSING

MEMO

To: Sara Hutchinson
FROM: Christine Derby
SUBJECT: 23-116550RZ 5067 South Eldridge Street
DATE: August 24, 2023

Addressing offers the following comments on this proposal:

1. The purpose of this Rezoning is for PUD for Townhome Community.
2. Access is off South Eldridge Street.
3. There are two valid existing addresses, 5067 and 5057 South Eldridge Street, in the addressing database. These address will not change with this Rezoning but may change with future development.

Please let me know if you have any questions.

MEMO

TO: Sara Hutchinson
 Jefferson County Planning and Zoning Division

FROM: Urszula Tyl
 Jefferson County Environmental Health Services Division

DATE: August 25, 2023

SUBJECT: Case #23-116550 RZ
 5067 S Eldridge Street
 5057 S Eldridge Street
 Richard Miller

The applicant has met the public health requirements for the proposed rezoning of this property.

PROPOSAL SUMMARY

PUD for Townhome Community.

COMMENTS

Jefferson County Public Health (JCPH) has provided comments on June 20, 2022, for the pre-application process for this case. We have reviewed the documents submitted by the applicant for this first referral process and have the following comments:

The applicant must submit the following documents or take the following actions prior to a ruling on the proposed rezoning of this property. NOTE: Items marked with a “✓” indicate that the document has been submitted or action has been taken. **Please read entire document for requirements and information. Please note additional documentation may be required. Failure to provide required documentation may delay the planning process.**

REZONING REQUIREMENTS (Public Water & Public Sewer Systems)

✓	Date Reviewed	Required Documentation/Actions	Refer to Sections
✓	8/25/2023	Submit a will serve/proof of services letter from the Water and Sanitation District to provide proof of public sewer services in accordance with the Jefferson County Zoning Resolution and Land Development Regulation (LDR) Section 22.	Water/Wastewater
✓	8/25/2023	Submit a notarized Environmental Questionnaire and Disclosure Statement in accordance with the Jefferson County Zoning Resolution and Land Development Regulation (LDR) Section 30.	Environmental Site Assessment

WATER/WASTEWATER

The Willowbrook Water and Sanitation District provided a letter dated May 3, 2022, stating public water and sewer services can be provided to the proposed development at 5057 and 5067 Eldridge St.

ENVIRONMENTAL SITE ASSESSMENT

JCPH has reviewed the Environmental Questionnaire and Disclosure Statement. The applicant checked "No" on all categories of environmental concern on the cover sheet. From this information, it does not appear that any recognized environmental conditions exist which would negatively impact the property.

Should stained or discolored soil or contaminated groundwater be encountered during construction and excavation of this area, the contractor must cease operations and contact a professional engineer licensed in Colorado or equivalent expert to further evaluate the soil and/or groundwater conditions, the nature and extent of the contamination, and determine the proper remediation and disposal of the contaminated material. The contractor must contact the CDPHE, Hazardous Materials and Waste Management Division at 303.692.3320

ACTIVE LIVING

JCPH commends the applicant for the creation of a trail system and connection to nearby open space to provide opportunities for physical activities such as walking and biking for future residents.

We would also suggest the applicant consider a central gathering area (gazebo), a community garden or some other built environment component that can foster social connectedness and community interaction. These amenities can promote public health by creating a sense of well-being in the future residents of the proposed development.

AIR

Land development activities that are less than 25 contiguous acres and less than 6 months in duration are exempt from permitting and do not need to report air emissions to the Air Pollution Control Division. However, the developer must use sufficient control measures and have a dust control plan in place to minimize any dust emissions during demolition, land clearing and construction activities. This department will investigate any reports of fugitive dust emissions from the project site. If confirmed, a notice of violation will be issued with appropriate enforcement action taken by the State.

Please be advised that a vehicle tracking pad or equivalent should be placed at egress points to prevent off property transport of materials during construction.

RADON

As of January 2019, to address the health hazard associated with radiation from radon gas, all new residential construction in Jefferson County must have a radon mitigation system installed in accordance with the Land Development Regulation Section 27 and the International Residential Code, Appendix F.

SENSORY IMPACT

The applicant provided a Sensory Impact Assessment dated May 2, 2023. The proposed development may be subjected to elevated noise levels from the adjacent C-470 highway. At the time of platting, a noise analysis is recommended to evaluate this potential impact in relation to

the Department of Housing and Urban Development Noise Assessment Guidelines. Colorado Revised Statute 25-12-103 classifies noise that exceeds the maximum permissible noise level as a public nuisance which is a civil matter between the property owner and the complainant.

Please note: JCPH and the Colorado Department of Public Health and Environment do not enforce noise complaint nuisances.

The Colorado Revised Statutes (Sections 25-12-101 through 108) stipulate maximum residential noise levels must comply with the following 25 feet from the property line:

- 55dB(A) between 7:00 a.m. and 7:00 p.m.
- 50dB(A) at all other times.

LANDSCAPING

Landscaping plans should include appropriate water conservation measures. The use of native plant species and/or xeriscaping is strongly encouraged to minimize water quality impacts in the area.

NOTE: These case comments are based solely upon the submitted application package. They are intended to make the applicant aware of regulatory requirements. Failure by Jefferson County Public Health to note any specific item does not relieve the applicant from conforming to all County regulations. Jefferson County Public Health reserves the right to modify these comments, request additional documentation, and or add appropriate additional comments.



Creating Community, Enhancing Health, Inspiring Play since 1959

August 28, 2023

Sara Hutchinson
Case Manager
Jefferson County Planning and Zoning
100 Jefferson County Pkwy., Suite 3550
Golden, CO 80419

RE: 5067 S. Eldridge St. Case No. 23-116550 RZ

Dear Sara:

This property is within Foothills Park & Recreation District Boundaries. The District will request fees-in-lieu if the ODP goes to plat. If you have any questions, please contact me at (303) 409-2304 or by email at insley@fhprd.org.

Sincerely,

Colin Insley
Director of Parks Planning and Construction

C: Ronald Hopp, Executive Director

Board of Directors

Phillip Trimble
Chair

Michael Honson
First Vice Chair

Ali Lodice
Second Vice Chair

Cynthia Doughtrey
Treasurer

Gina M. Writz
Secretary

Ronald Hopp
Executive Director



West Metro Fire Protection District

433 S. Allison Parkway
Lakewood, CO 80226
Bus: (303) 989-4307
Fax: (303) 989-6725
www.westmetrofire.org

September 5, 2023

Sara Hutchinson
Jefferson County Planning and Zoning
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419-3550
shutchin@co.jefferson.co.us
303-271-8732

RE: 23-116550 RZ

Sara Hutchinson,

This property is within the West Metro Fire Protection District (WMFPD). Fire service will be provided as long as provisions of the currently adopted edition of the International Fire Code, including Jefferson County amendments are met in development.

- West Metro Fire Protection District has no comments or concerns regarding the rezoning of this property.
- Specific site requirements including water supply/fire hydrant locations, site access, building configuration, site infrastructure, ect will require further fire department review and approval. Fire apparatus access and required firefighting water supply will be determined once formal development plans are submitted and reviewed. Acceptable plans will show building height, size, and construction type. All exterior portions of the buildings must be accessible from within 150' of a 24' wide fire lane. Buildings taller than 30' to the eaves will have additional access requirements
- Notes on the "Official Development Plan" state building heights of 45 feet. Any building with eaves greater than 30 feet will require fire department aerial access. Aerial apparatus access requires roads with a minimum width of 26 feet. (2018 IFC Section D) Where fire department aerial access requirements cannot be met residential fire sprinklers will be required.
- See the attached West Metro Fire Protection District Life Safety Site Plan Requirements for additional information to assist with site development

Permits are required from the West Metro Fire Protection District for new and core/shell buildings, tenant improvement projects, all work on underground fire lines, all work on automatic fire protection systems, all work on automatic fire detection systems, solar photovoltaic systems, radio amplification, controlled access and for the storage of hazardous materials.

WMFPD reserves the right to provide additional comments/requirements if there are any changes to the application or at the time plans are submitted and reviewed per applicable codes and amendments.

If you have any questions contact me at 303-989-4307 extension 558 or e-mail: jbrennan@westmetrofire.org.

Respectfully,

Captain John Brennan
Deputy Fire Marshall
Life Safety Division
West Metro Fire Protection District

Sara Hutchinson

From: AUTOMAILER@JEFFCO.US
Sent: Tuesday, September 5, 2023 11:37 AM
To: Sara Hutchinson
Cc: Matthew Damjanovich
Subject: 23 116550 RZ - Agency Response

Follow Up Flag: Follow up
Flag Status: Flagged

Case Number: 23 116550 RZ

Case Type: Rezoning

Case Name: 5067 S Eldridge Street

Review: Road & Bridge

Results: Comments Sent (no further review)

Review Comments: If this is to be maintained by Jeffco Road and Bridge, we would prefer a cul-de-sac in place of the round-a-bout. Otherwise, Road and Bridge have no concerns.

Scheduled End Date: 06-SEP-23

Reviewer: Matthew Damjanovich

Description: PUD for Townhome Community

Memorandum

To: Sara Hutchinson
Planner

From: Patrick O'Connell
Engineering Geologist

Date: September 6, 2023

Re: 5067 S Eldridge St, Case No. 23-116550RZ

I reviewed the submitted documents for the subject property. I have the following comment.

1. The site is located within the Jefferson County Designated Dipping Bedrock Area (DDBA), therefore, the applicant may have to provide geologic and geotechnical reports prepared in accordance with Section 25 of the Land Development Regulation and a detailed grading plan with the rezoning application. The grading plan must establish conformance with the requirements of the Zoning Resolution and the geotechnical report which should provide minimum separation (min 10 feet) of overburden soil or fill beneath the anticipated level of the bottom of foundation and the top of bedrock surface. Given the subsequent processes, the reports and grading plan for the DDBA will be required at the subsequent (plat/SDP) process.

Sara Hutchinson

From: AUTOMAILER@JEFFCO.US
Sent: Tuesday, September 12, 2023 6:17 PM
To: Sara Hutchinson
Cc: Kayla Bryson
Subject: 23 116550 RZ - Agency Response

Follow Up Flag: Follow up
Flag Status: Flagged

Case Number: 23 116550 RZ

Case Type: Rezoning

Case Name: 5067 S Eldridge Street

Review: Historical Commission

Results: No Comment (no further review)

Review Comments:

Scheduled End Date: 06-SEP-23

Reviewer: Kayla Bryson

Description: PUD for Townhome Community

PLANNING ENGINEERING MEMORANDUM

TO: Sara Hutchinson, Case Manager
FROM: Benjamin Johnson, Planning Engineering
DATE: September 12, 2023
RE: 23-116550RZ; Rezoning to PUD for a Townhome Community

Engineering Staff has reviewed the submittal documents for a proposed rezoning to Planned Development at 5067 S Eldridge St to allow for a future Townhome Community and have the following comments.

REZONE TO PLANNED DEVELOPMENT ZONE DISTRICT

1. Engineering Staff has no concerns regarding the proposed rezoning application.

FUTURE CONSIDERATIONS

One of the following processes will be required after the rezoning process:

1. Multifamily Site Development Plan: The applicant needs to be aware that prior to the issuance of a building permit, a Multifamily Site Development Plan Approval is required if the townhomes are to be constructed on a single lot; please see the Zoning Resolution, Section 1.N for more detail on the requirements for the Multifamily Site Development Plan.
2. Plat: The applicant needs to be aware that prior to building permit and/or lot sale a Plat is required in accordance with the Section 6 of the Land Development Regulation if the townhomes are to be placed on separate lots

CONCLUSION

These comments are based on the requirements of the Jefferson County Land Development Regulation (LDR), the Jefferson County Zoning Resolution (ZR), the Jefferson County Storm Drainage Design and Technical Criteria (SDD&TC) and the Jefferson County Transportation Design & Construction Manual (TD&CM). The comments are intended to make the applicant aware of regulatory requirements. Failure by Jefferson County Planning and Zoning to note any specific item does not relieve the applicant from conforming to all County regulations. Jefferson County Planning and Zoning reserves the right to modify these comments, request additional documentation, and or add appropriate additional comments.

If there are any questions, please contact Benjamin Johnson at bzjohnso@jeffco.us or 303-271-8705.

Attachment/Enclosure
c: File

Sara Hutchinson

From: McKee - DNR, Jerrie <jerrie.mckee@state.co.us>
Sent: Wednesday, November 22, 2023 4:12 PM
To: Sara Hutchinson
Cc: Matt Martinez; phillip.sorensen@state.co.us
Subject: --{EXTERNAL}-- Fwd: Rezoning Referral (request for comment): 23-116550RZ

This Message Is From an External Sender

This message came from outside your organization.

Report Suspicious

Hi Sara,

Due to the size and location of this development, CPW will not be making formal comments on this land use proposal. We would have no comments related to bees.

Sincerely,

Jerrie McKee
Wildlife Officer/District Wildlife Manager



Denver Officer 303-291-7227
Cell 303-880-4089
6060 Broadway, Denver, CO, 80216
jerrie.mckee@state.co.us | cpw.state.co.us [cpw.state.co.us]



----- Forwarded message -----

From: **Sorensen - DNR, Philip** <philip.sorensen@state.co.us>
Date: Wed, Nov 22, 2023 at 10:11 AM
Subject: Fwd: Rezoning Referral (request for comment): 23-116550RZ
To: Jerrie McKee - DNR <jerrie.mckee@state.co.us>

Pretty sure this is your stuff.

----- Forwarded message -----

From: **Sara Hutchinson** <shutchin@co.jefferson.co.us>
Date: Tue, Nov 21, 2023 at 3:38 PM
Subject: Rezoning Referral (request for comment): 23-116550RZ
To: Shannon Schwab - DNR <shannon.schaller@state.co.us>, Sorensen - DNR, Philip <philip.sorensen@state.co.us>, Martinez - DNR, Matt <matt.martinez@state.co.us>

Hello,

Apologies that you are not receiving an official referral request, but we have a concerned citizen who has reached out to us about bees on this site. Would you be able to review the documents linked [here](#) and provide any comments you have by December 5th?

Thank you,

Sara Hutchinson

Planner III

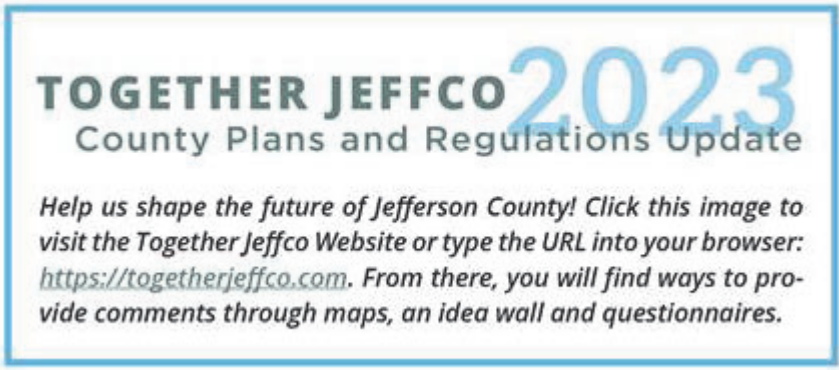
Jefferson County Planning and Zoning

100 Jefferson County Parkway, Suite 3550

Golden, CO 80419

303.271.8732

shutchin@jeffco.us | planning.jeffco.us



Planning and Zoning is open to the public and appointments are strongly encouraged. Virtual and in-person appointments are available Monday through Thursday. County offices are closed on Fridays. Please schedule [appointments](#) and submit [applications](#) online. Go to planning.jeffco.us for more information.

December 6, 2023

Sara Hutchinson
Jefferson County Planning and Zoning
100 Jefferson County Parkway, Ste 3550
Golden, CO 80419

RE: Water and Sanitary Sewer Infrastructure
Willowbrook Water & Sanitation District
PUD for Townhome Community
5067 South Eldridge Street – Case Number: 23-116550 RZ
Rezone
2nd Referral Response

Dear Sara,

On behalf of the Willowbrook Water & Sanitation District (District), we offer the following comments regarding the above referenced project:

1. **Will Serve Letter.** A will serve letter was issued to the Public Improvement Coordinator on May 3, 2022.
2. **Water Infrastructure.** The District has water facilities in the area. An existing 12-inch water main is located in South Eldridge Street.

No water plans have been submitted for review. Water main line extensions and fire hydrants will likely be needed to serve the property.

3. **Sanitary Sewer Infrastructure.** The District has sanitary sewer facilities in the area. An existing 8-inch sanitary sewer main is located in South Eldridge Street.

No sanitary sewer plans have been submitted for review. Sanitary sewer main line extensions will likely be needed to serve the property.

4. **Infrastructure Improvements Guarantee.** If water and/or sanitary sewer mainline extensions are proposed, Conveyance and Acceptance Agreements (C&A) will be required. The agreements outline the conditions of the review, construction and transfer of ownership of the water and sanitary sewer facilities. With this agreement in place, the water and sewer facilities do not need to be a part of the County's Exhibit A for public improvements. To date, C&A Agreements are not yet in place between the owner and the District.
5. **Easements.** During the plan review process, it will be determined if additional easements will be required.

Sara Hutchinson
December 6, 2023
Page 2

Please feel free to contact me with any questions.

Sincerely,
PURRINGTON CIVIL, LLC
District Engineer for the Willowbrook Water and Sanitation District

A handwritten signature in black ink, appearing to read 'S. Homer', with a long horizontal flourish extending to the right.

Steven Homer, P.E.
Principal

NOTIFICATION SUMMARY

+

PUBLIC / HOA COMMENTS

Case Number 23-116550RZ

As a requirement of the Jefferson County Zoning Resolution, the following Level 1 notification was provided for this proposal.

1. Notification of this proposed development was mailed to property owners within a 500 ft radius of the site and Registered Associations located within a one mile radius of the site.

These radii are shown on the maps below. The initial notification was mailed at the time of the first referral. Additional notification was mailed 14 days prior to the Planning Commission Hearing identifying the scheduled hearings dates for both the Planning Commission and the Board of County Commissioners.

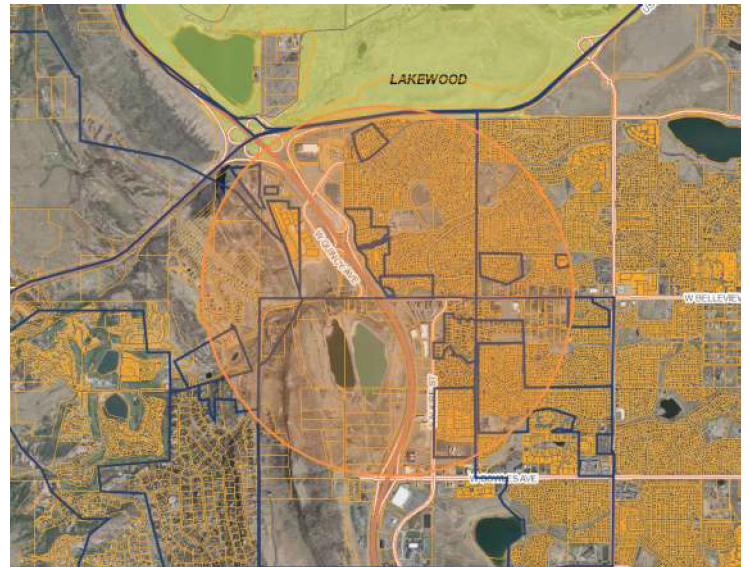
2. Sign(s), identifying the dates of the hearings before both the Planning Commission and the Board of County Commissioners, were provided to the applicant for posting on the site. The sign(s) were provided to the applicant with instructions that the site be posted 14 days prior to the Planning Commission Hearing.
3. Notification of the hearings before the Planning Commission and the Board of County Commissioners was published in the West Jeffco Hub.

Lists of the specific property owners and registered associations that received notification are attached to this summary.

Property Owners



Registered Associations



Postcard Mailing List

Owner	Mail Address	Mail Loc	Mail Zip
CURRENT RESIDENT	9446 CHERRYWOOD TRL	LITTLETON, CO	80127
AVALON IRONWOOD AT RED ROCKS LLC	4040 WILSON BLVD SUITE	ARLINGTON, VA	22203
JERALD & GIGI HILBERT LIVING TRUST	5043 S BEECH WAY	MORRISON, CO	80465
CURRENT RESIDENT	5053 S BEECH WAY	MORRISON, CO	80465
CURRENT RESIDENT	5063 S BEECH WAY	MORRISON, CO	80465
CURRENT RESIDENT	5073 S BEECH WAY	MORRISON, CO	80465
MICHAEL V ROBERTS LIVING TRUST	5045 S BRAUN ST	MORRISON, CO	80465
FELAND REVOCABLE TRUST	5004 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5005 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5014 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5015 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5024 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5034 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5035 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5044 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	5045 S COLE CT	MORRISON, CO	80465
CURRENT RESIDENT	13740 W BELLEVIEW AVE	MORRISON, CO	80465
CURRENT RESIDENT	13401 W BELLWOOD AVENUE	MORRISON, CO	80465
CURRENT RESIDENT	13402 W BELLWOOD AVE	MORRISON, CO	80465
CURRENT RESIDENT	13458 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13468 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	1687 FOUR SEASONS BLVD	LEADVILLE, CO	80461
CURRENT RESIDENT	13488 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13490 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13498 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13499 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13508 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13509 W GRAND PLAC	MORRISON, CO	80465
CURRENT RESIDENT	13518 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13519 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13520 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13529 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	8169 S MADISON WAY	CENTENNIAL, CO	80122

LEE FAMILY TRUST	13559 W GRAND PLAC	MORRISON, CO	80465
CURRENT RESIDENT	13560 W GRAND PLAC	MORRISON, CO	80465
CURRENT RESIDENT	13569 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13570 W GRAND PL	MORRISON, CO	80465
CURRENT RESIDENT	13589 W GRAND PLAC	MORRISON, CO	80465
CURRENT RESIDENT	13590 W GRAND PLAC	MORRISON, CO	80465
CURRENT RESIDENT	13625 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13626 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13645 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13656 W GRAND DR	MORRISON, CO	80465
LEGACY INVESTMENTS TRUST	13665 W GRAND DR	MORRISON, CO	80465
NK DK KANE FAMILY REVOCABLE TRUST	13676 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13695 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13696 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13706 W GRAND DR	MORRISON, CO	80465
CURRENT RESIDENT	13716 W GRAND DR	MORRISON, CO	80465
RED ROCKS POINT HOMEOWNERS ASSOC	PO BOX 370390	DENVER, CO	80237
BEAR CREEK MEADOWS SOUTH HOMEOWNERS ASSOC	11002 BENTON ST	WESTMINSTER, CO	80020

From the Jefferson County Assessor's Office

Home Owners Associations within 1 miles of 41-161-01-001 and 59-074-10-001

Subject Properties

Owner	AIN/Parcel PIN/Sched Mail Addr	Property Address
PAYAN BETUEL	41-161-01-30042865	11767 W E 00514 THUNDER RD , GOLDEN, CO 80401
GARDNER CRAIG R	59-074-10-30044657	9446 CHEVACANT LAND , MORRISON, CO 80465

30 HOA within 1 miles of subject properties

HOA Name	Amanda R: Contact	Address Li	Address Li	Phone 1	Phone 2	Email Add	License
BEAR CREEK CITIZENS/HORSE ASSN	757432	LISA WOO	11285 W F LAKEWOO	303989698		lcw0901@AOI	
BEAR CREEK MEADOWS HOA	819455	LITHA SPIE	11002 BEN WESTMIN	303420448		lspies@msAOI	
BEAR CREEK MEADOWS SOUTH HOA	819456	LITHA SPIE	11002 BEN WESTMIN	303420448		lspies@msAOI	
BELLEVIEW ACRES HOA	757295	TIM SHANG	PO BOX 12 MORRISON	303619517	720291786	timshangr@AOI	
BELLEVIEW FARMS HOA	757458	Janice Hol	13026 W A LITTLETON	303437778	303933728	jbholmes2@AOI	
CARE	757297	C/O DEBR	21789 CAE GOLDEN	303526028	303526748	deb@carnAOI	
COHOPE	757299	C/O WILLI	7294 W H LITTLETON	303978114	303971008	ray@coho	
ELK REST MEADOWS HOA	987600	c/o Randal	P O Box 18 EVERGREE	310439400	907360238	randallbra@AOI	
JEFFERSON COUNTY HORSE COUNCIL	757337			303817488		franevers@AOI	
LOOKOUT MOUNTAIN WATER DISTRICT	757494	CHRISTINA	25958 GEN GOLDEN	303526128		csbis@msrSD	
MAMMOTH PARK CONDOMINIUM ASSOC., INC	980898	C/O JON W P	O BOX 2 LITTLETON	303933628		jon@kcho@AOI	
NOB HILL SUBDIVISION HOMEOWNERS ASSOCIATION	809346	C/O CAROL	7800 S ELA LITTLETON	720273330	817821768	caronrealt@AOI	
PLAN JEFFCO	984263	C/O MICH	24396 COE GOLDEN,	303526134	720839438	mpoolet@	
RED ROCKS POINT HOA	757546	ADVANCE	P O BOX 3 DENVER	303482228	303495588	jenny@ad@AOI	
SILVER ROCK HOA	757415	C/O CAROL	1265 SILVE EVERGREE	720935958	303674358	spindelcar@AOI	
SODA CREEK POA	757366	ANNE NEL	PO BOX 13 EVERGREE	303690608	303674248	Alisa.Nixor@AOI	
SODA LAKES CONDO ASSN	757307		4266 S Eld Morrison	303237808		pres.sodal@AOI	
SPRING HILL HOA	757502	C/O RONA	4121 S. DE MORRISON	303697528	303697678	springhill_@AOI	
SPRING RANCH POA	757329	c/o MARK	27846 ME. GOLDEN	303989698	303526048	info@sprir@AOI	
SUNDANCE AT WILLOW SPRINGS ASSOCIATION	757459	c/o Lauren	P.O. Box 3 Denver, CO	303482228	303907398	lauren.ger@AOI	
THE RIDGE ASSOCIATION	757499	C/O Wayn	30142 Sto EVERGREE	703915338	303933628	waynepau@AOI	
THE RIDGE AT HIWAN	980933	C/O ALISA	P O BOX 2 LITTLETON	303933628		alisa@kch@AOI	
TRAPPERS POND HOA	757438	C/O CHRIS	1224 WAD LAKEWOO	720377018		christina@AOI	
TRAPPERS VIEW HOA	757427	C/O ANDR	12291 W C MORRISON	720224698	303532708	andyreed6@AOI	

The Trappers Glen Townhome Association Inc
WESTGOLD MEADOWS HOA
WILLOW SPGS OPEN SP OWNERS ASSN
WILLOWBROOK ASSN
WILLOWBROOK HOA
WOODLANE HOA

1002810 c/o George PO Box 62 Littleton, C 30351762 trappersgl
757423 c/o TMMC P O BOX 1 CASTLE RC 72088163(30398596:lhill@tmm AOI
757453 c/o WILLO P O BOX 1 MORRISON info@wso: AOI
757461 C/O MELIN 6541 CRES MORRISON 30352272:70750182:melinda@ AOI
757421 JOE TOSCA 5953 WILL MORRISON 30369792:5953tosca AOI
757422 c/o Jack Hi 1224 WAD LAKEWOO 72037701(72037701(Jack@cms AOI

Comments	HOA	Hearing De	Board 1	Board 2	Board 3	Board 4	Board 5	Website	Area
Last Updat	Y	LISA WOO	Lisa Wood	Rick Wood					GLUP
Last Updat	Y								
Last Updat	Y								
Last Updat	Y	ROGER WE	Eldon Sulli	BobbieSue	Tim Shang	Joe Mayer	Bert Milan	www.Belle	S JEFFCO
Last Updat	Y		Janice Hol	Janine Har	Don Paus	Leslie Rap	Neil Jordar	www.hoac	S JEFFCO
Last Updat	Y	DEBORAH	Meredith \	Michelle P	Deborah C	Meredith \	Steph Troy	www.CARI	CENTRAL MTNS
Last Updat	Y	DIANE SUC		Diane Suct	William R	Cheryl Paa		www.cohc	S JEFFCO
Last Updat	Y	Randall Br	Tony Spee	Fred Redel	Randall Br		Audra Johi	https://dri	EVERGREEN
Last Updat	N	ANY BOAR	Don McDo	Barb Sugg	Andrea Ra	Andrea Ra	Terry Liekt	jeffcohors	ALL AREAS
Last Updat		DIRECTOR:	John Roscc		H. Court Y	Christina S	Mark Man		CENTRAL
Last Updat	Y		Chuck Dav	Dave Warc					
Last Updat	Y		Kim Teschl	Joseph Kol	Barbara Bt	Barbara Bt			EVERGREEN
Last updat	N	MICHELLE	John Litz	Peter Mor	Michelle P	Peter Mor	John Litz, E	www.planj	
Last Updat	Y		Kim Portet	Mike Reed	Ryan Felar				
Last Updat	Y		Paul Grazi	N/A	Blair Eklun	Carolyn Sp			EVERGREEN
Last Updat	Y	TANDY JOI	Erik Foster	Nadja Pisu	Tandy Jon	Steve Brur	Jerry Men	www.soda	EVERGREEN
Last Updat	Y	Brian Heid	Brian Heid	Annette Lc	Rhema Lo	Jill Wrenn		www.soda	S JEFFCO
Last Updat	Y	JIM ABEL	Jim Abel	Jon Schrei	Ronald Sir	Dan Searcy		www.sprir	S JEFFCO
Last Updat	N	MARK SCH	Mark Schn	Troy Fox	Mark Schn	Leila Wort		springranc	EVERGREEN
Last Updat	Y	Don Eley	Rick Merg	Chuck Swe	Don Eley	Chuck Swe	Rick Merg	www.adva	S JEFFCO
Last Updat	Y	Wayne Pai	Dale Schlir	Ryan Dreie	Ryan Dreie	Wayne Pai	Dale Schlir	www.kcho	EVERGREEN
Last Updat	Y		Bill Archde	Nate Whit	Dale Schlir	Dale Schlir		ridgehoa.c	
Last Updat	Y		Doug Rens	Aaron Prill	Jonathan M	Jonathan M		cms-hoa.c	S JEFFCO
Last Updat	Y	ALL OFFICI	Shannon A	Tim O'Gan	Dave Van	Andrew Re		tvhoa.com	S JEFFCO

Updated 2 Y	Diane Jone Kristin Dai George Vis Diane Jone Kristin Dai Ed Gunder www.trap
Last Updat Y	Lauren Hill Karen Kam Allen Swor Mikell Wil Linda Frick Meria Gler wgmhoa.o S JEFFCO
Last Updat Y	Rick Zimm Mark Holt Tom Week Doug Hieb www.wso S JEFFCO
Last Updat Y	Melinda W Stephen Ci Gregg Ree Stephen Ci Greg Rees Kimberly B www.willo S JEFFCO
Last Updat Y	CAROL RAI Keith Woo Keith Woo Joe Tosnc Kathy Tho Dave McA S JEFFCO
Last Updat Y	Jack Higgir Dan Debac Dan Debac Will Wege Jennie Vie Emily Wak www.cms- S JEFFCO

The Denver Post, LLC

PUBLISHER'S AFFIDAVIT

City and County of Denver)
State of Colorado)

The undersigned Nicole Maestas being first duly sworn under oath, states and affirms as follows:

- 1. He/she is the legal Advertising Reviewer of The Denver Post, LLC, publisher of The Denver Post and Your Hub.
2. The Denver Post and Your Hub are newspapers of general circulation that have been published continuously and without interruption for at least fifty-two weeks in Denver County and meet the legal requisites for a legal newspaper under Colo. Rev. Stat. 24-70-103.
3. The notice that is attached hereto is a true copy, published in Your Hub for West Jeffco (including the counties of Jefferson, Arapahoe, Arvada, Denver, Lakewood, Gilpin, Clear Creek, and Westminster) on the following date(s):

July 11, 2024

Handwritten signature of Nicole Maestas

Signature

Subscribed and sworn to before me this 12 day of July, 2024.

Handwritten signature of Rosann R Wunsch
Notary Public

ROSANN R WUNSCH
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20024002315
MY COMMISSION EXPIRES FEBRUARY 26, 2026

(SEAL)

NOTICE OF PUBLIC HEARINGS FOR REZONING

NOTICE IS HEREBY GIVEN that the Board of County Commissioners of the County of Jefferson, State of Colorado will hold a hybrid (in-person and online virtual) public hearing on a proposed rezoning of certain property within Jefferson County, Colorado. The public hearing will be held at the Jefferson County Administration and Courts Facility, Hearing Room 1, at 100 Jefferson County Parkway, Golden, Colorado, on July 30, 2024 at 9:00 a.m. with the virtual hearing link being available on the County's website at https://www.jeffco.us/meetings.

FURTHER NOTICE IS HEREBY GIVEN that said public hearings may be continued from time to time without further notice.

Said proposed rezoning is Case No. 23-116550RZ/ Red Rocks Pointe, Lot 1 - ODP, which proposes to rezone from Planned Development (PD) to a new Planned Development (PD) to allow ten (10) dwelling units as Two-Family Dwellings.

Said property is located at: 5067 S Eldridge St, Morrison, which contains approximately 1.34 acres.

BE IT ALSO KNOWN that the text and/or maps relating to the above referenced rezoning and any text and/or maps so certified by the Jefferson County Planning Commission may be examined by contacting the Jefferson County Planning and Zoning Division during any working day. You can reach Planning & Zoning at 303-271-8700 or pzweb@jeffco.us.

BOARD OF COUNTY COMMISSIONERS
COUNTY OF JEFFERSON
STATE OF COLORADO

Published July 11, 2024

/s/ Lesley Dahlkemper, Chairman

Please note: The Denver Post will no longer be issuing paper tears. They will only be a digital copy.

Sara Hutchinson

From: Sara Hutchinson
Sent: Thursday, September 21, 2023 4:46 PM
To: Lydia McCullough
Subject: RE: --{EXTERNAL}-- Land home to endangered species

Lydia,

This application is at very early stages, so a public hearing has not been scheduled yet. I added your initial email to the public folders as a public comment, and will do so with this follow up email.

Thank you,

Sara Hutchinson
Planner II

Jefferson County Planning and Zoning
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419
303.271.8732
shutchin@jeffco.us | planning.jeffco.us



TOGETHER JEFFCO 2023 County Plans and Regulations Update

Help us shape the future of Jefferson County by visiting the Together Jeffco website and taking the online questionnaire! Click this image to visit our website: <https://togetherjeffco.com>. From there, you will find our Questionnaire on the main page!

Planning and Zoning is open to the public and appointments are strongly encouraged. Virtual and in-person appointments are available Monday through Thursday. County offices are closed on Fridays. Please schedule [appointments](#) and submit [applications](#) online. Go to planning.jeffco.us for more information.

From: Lydia McCullough <xenarox88@gmail.com>
Sent: Thursday, September 21, 2023 8:00 AM
To: Sara Hutchinson <shutchin@co.jefferson.co.us>
Subject: Re: --{EXTERNAL}-- Land home to endangered species

This Message Is From a New Sender

You have not previously corresponded with this sender.

Report Suspicious

Ms. Hutchinson,

There were construction vehicles on the land with the application number 23-116550 today. According to the endangered species act of 1973, as stated in a previous email, land that is home to endangered species cannot be built on. There should be no equipment on the land or work being done.

I have looked online for a future hearing date and do not see one listed. Nor did I see any information pertaining to what I sent.

If work continues I will seek an injunction.

Lydia McCullough

On Mon, Sep 18, 2023, 9:21 AM Sara Hutchinson <shutchin@co.jefferson.co.us> wrote:

Lydia,

Thank you for reaching out with your concerns! We will send a referral out to Colorado Parks and Wildlife during the next review of this application.

Would you like me to include your email in the folder/public hearing packet for this case?

Thank you,

Sara Hutchinson

Planner II

Jefferson County Planning and Zoning

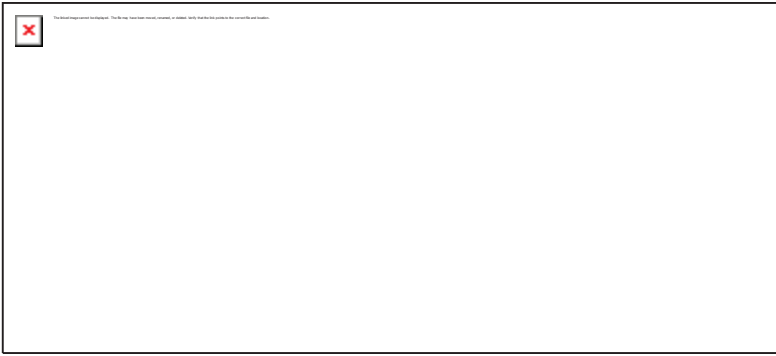
100 Jefferson County Parkway, Suite 3550

Golden, CO 80419

303.271.8732

shutchin@jeffco.us | planning.jeffco.us





[\[togetherjeffco.com\]](http://togetherjeffco.com)

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From: Lydia McCullough <xenarox88@gmail.com>
Sent: Monday, September 11, 2023 5:23 PM
To: Sara Hutchinson <shutchin@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Land home to endangered species

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Attached are signs of applications posted in fields. These fields are homes to bumblebees, which are on the endangered species list. According to the 1973 endangered species act, land that is home to endangered species cannot be built on.

I have also notified the EPA and Fish and Wildlife.

I would appreciate continuing information on these matters moving forward.

Lydia McCullough

Sara Hutchinson

From: Mike Moreland <mm1991csu@hotmail.com>
Sent: Wednesday, October 11, 2023 12:22 PM
To: Sara Hutchinson
Subject: --{EXTERNAL}-- 23-11655ORZ

This Message Is From a New Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Hello Sarah

Please add comments to the file that we have enough high-density building going on near Quincy and C470 that we are opposed to the proposed zoning change from PD to Townhomes.

Thanks Mike Moreland
303-920-8729

Get [Outlook for Android \[aka.ms\]](#)

Sara Hutchinson

From: RRP Treasurer, Mike Reed <redrockspoint2@gmail.com>
Sent: Saturday, July 6, 2024 7:19 AM
To: Sara Hutchinson
Subject: --{EXTERNAL}-- 5067 S Eldridge Street Case No. 23-116550RZ

Follow Up Flag: Follow up
Flag Status: Flagged

This Message Is From a New Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Hi Sara,

My name is Michael Reed, I am the current President of the Red Rocks Point HOA. The HOA represents the homeowners directly next to the subject matter rezoning case.

I'm reaching out to you as there has been substantial shock in the community at the receipt of a notice that the above case has been scheduled for a Planning Commissioning hearing giving the last time any information or updates on the case was during a community call from almost a year ago. I should note that many residents did not receive the mailing as required, most only found out about the meeting via new signs posted on the property the prior week.

As we left that community meeting, there were substantial questions and comments that were to be addressed by the applicant. None of which were ever followed up or addressed by the applicant. Also, the sheer amount of negative sentiment against this high-density housing during the meeting. Given the lack of communication or follow up, the community thought this application was not going forward. Or at a minimum, the applicant was going to start over in their application.

There is a lot of confusion as to how this application has made it onto the agenda of the planning commission and that further investigation through the Jeffco Planning Commission website that staff is recommending approval. How can this possibly be in compliance with the rules of the Planning rezoning process? When looking up the documentation for the case, there was obvious communications between the applicant and Jeffco in late 2023 but these folders and files were all dated 6/29/2024...as in they were not available to the public till just recently. This is not to mention the numerous comments from Planning about updates required of the applicate and that a third referral was required.

Since there is no record of a resubmittal by the applicant or notice to the community of the applicant updating and addressing comments/concerns raised and owed to the community, again, how could this case possibly be in front of the Planning Commission? And how could the Planning Department come out of the original community meeting that anyone was ok with this moving forward?

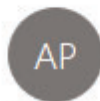
There is already 286 houses being build less than a mile from this applicant's property, half of which are high density housing. There is also high density housing being built or already built a mile to the east. Along with

the apartments on the south side of Belleview from this applicant's property, there is already too many high density housing in less than a mile radius. Disregarding the traffic issues this have or will create, it also increased crime in our neighborhood, with stolen cars and property crimes. Not to mention the damage sustained by our community from those living outside of our community. This includes using our common area along Bellview as a toilet for their animals. We also have vast amounts of individuals using our hill in our native area (that contains wetlands that the HOA has to maintain) as a sledding hill and damage from this activity. All of this is just going to get worse with Three Hills and other developments already in construction. Just watch 470 in the morning and afternoon....it backs up from Morrison road all the way down to Ken Caryl some days. It's just going to get worse with these decisions by the County will no actionable plans to address them, only for communities to suffer.

Please advise as to how this application has been allowed to make it to the Planning Commission so our community can have the required information and background in order to prepare for the meeting. We are of course on our backfoot regarding this matter and are rushing to prepare.

Regards
Michael Reed
RRP HOA President

--{EXTERNAL}-- Case No. 23-11655ORZ



Alice Parker <alicep4338@gmail.com>

To: Sara Hutchinson



Sat 7/13/2024 3:56 PM

i Follow up. Start by Monday, July 15, 2024. Due by Monday, July 15, 2024.

You forwarded this message on 7/16/2024 10:34 AM.

If there are problems with how this message is displayed, [click here to view it in a web browser.](#)

This Message Is From a New Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Ms. Sara Hutchinson,

As a resident in this neighborhood I am writing to let you know my opposition to rezoning for more housing. We have had an influx of home developments in this neighborhood and traffic is awful. I board and ride a horse 🐎 at the stables across the street from the proposed development. I like to ride off grounds at times and crossing Belleview can be frightening - I had a car speed by me and my horse that was loud and almost caused me to be thrown. More housing means more traffic. The vacant property next to the bike path where the this development is proposed is a deer trail - allowing this development will mean further imposition on this wildlife as well as the coyotes and birds that habitat in the neighborhood.

Thank you for your consideration - please do not allow continued development in this neighborhood.

Alice P Parker

4338 S Coors Ct

Morrison CO. 80465

Sent from my iPhone

CURRENT ZONING

Land Use Summary

Red Rocks Pointe

Official Development Plan

Map No. 571
Case No. 00015300RZP1

Land Use Area	Land Use Type	Acreage	Units / G.F.A.	Percent of Total Area
A	Res. SFD - 5000 s.f. Lots (Min.)	7.8 Ac.	27 DU	36.8 %
B	Res. SFD - 5000 s.f. Lots (Min.)	10.7 Ac.	30 DU	50.5 %
C	Neighborhood Office / Business	1.2 Ac.	14,636 sq. ft. (.28 F.A.R.)	5.6 %
	Internal Collector R.O.W.	0.8 Ac.	-	3.8 %
	Bellevue R.O.W. Dedication	0.7 Ac.	-	3.3 %
Total		21.2 Ac.	57 DU	100.0 %

Gross Density - 2.7 DU/Ac.

Sheet 1 of 4-3
Kms

Legal Description

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPLE MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE N.00°10'46"W., ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, 30.00 FEET TO THE POINT OF BEGINNING BEING ON THE NORTH RIGHT-OF-WAY LINE OF WEST BELLEVUE AVENUE AS DESCRIBED IN BOOK 1831 PAGE 166; THENCE S.89°56'00"W., ALONG SAID RIGHT-OF-WAY LINE, 1106.93 FEET TO THE RIGHT-OF-WAY OF STATE HIGHWAY C-470 AS DESCRIBED IN CIVIL ACTION NO. 90CV1028; THENCE N.79°44'33"W., ALONG THE AFOREMENTIONED RIGHT-OF-WAY, 243.61 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY N.35°06'47"W., 354.63 FEET TO THE EAST LINE OF A PARCEL AS DESCRIBED IN RECEPTION NO. 78112147; THENCE N.00°23'34"W., ALONG SAID EAST LINE, 287.12 FEET TO THE NORTH LINE OF THE S1/2,SE1/4,SE1/4, OF SAID SECTION 7; THENCE N.89°38'26"E., ALONG SAID NORTH LINE, 1550.66 FEET TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE S.00°10'45"E., ALONG SAID EAST LINE, 629.03 FEET TO THE POINT OF BEGINNING, CONTAINING 21.239 ACRES MORE OR LESS.

COUNTY COMMISSIONER'S CERTIFICATE:

This Official Development Plan, titled Red Rock Pointe Official Development Plan, was approved the 18 day of SEPTEMBER, 2001, and is accepted by the Board of County Commissioners this 17 day of DECEMBER, 2001.

BOARDS OF COUNTY COMMISSIONERS: *Michelle Lawrence* Chairman
Seri Schmaderl Clerk



SEAL AND RECORDER'S CERTIFICATE:

Accepted for filing in the Office of the County Clerk and Recorder of Jefferson County at Golden, Colorado on this 17 day of December, 2001

at 9:15 o'clock a.m.
By: *Wayne Whiffin* Jefferson County Clerk and Recorder
By: *Susan E. Sausan* Deputy Clerk

OWNER'S CERTIFICATES:

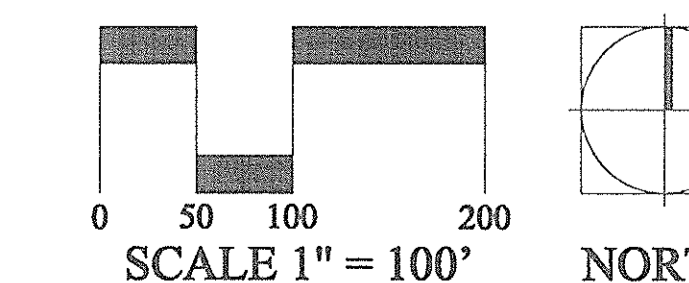
Lincoln Trust Co., A Colorado Corporation, Custodian FBO Gerald R. Stafford, as owner of the land affected by this Planned Development, accept and approve all conditions set forth herein.
Angela Bowman as supervisor of Lincoln Trust Company Date: 12/12/2001
Annie Sigety as asst. secretary of Lincoln Trust Company Date: 12/12/2001
Annie Sigety

STATE OF COLORADO }
COUNTY OF JEFFERSON } SS

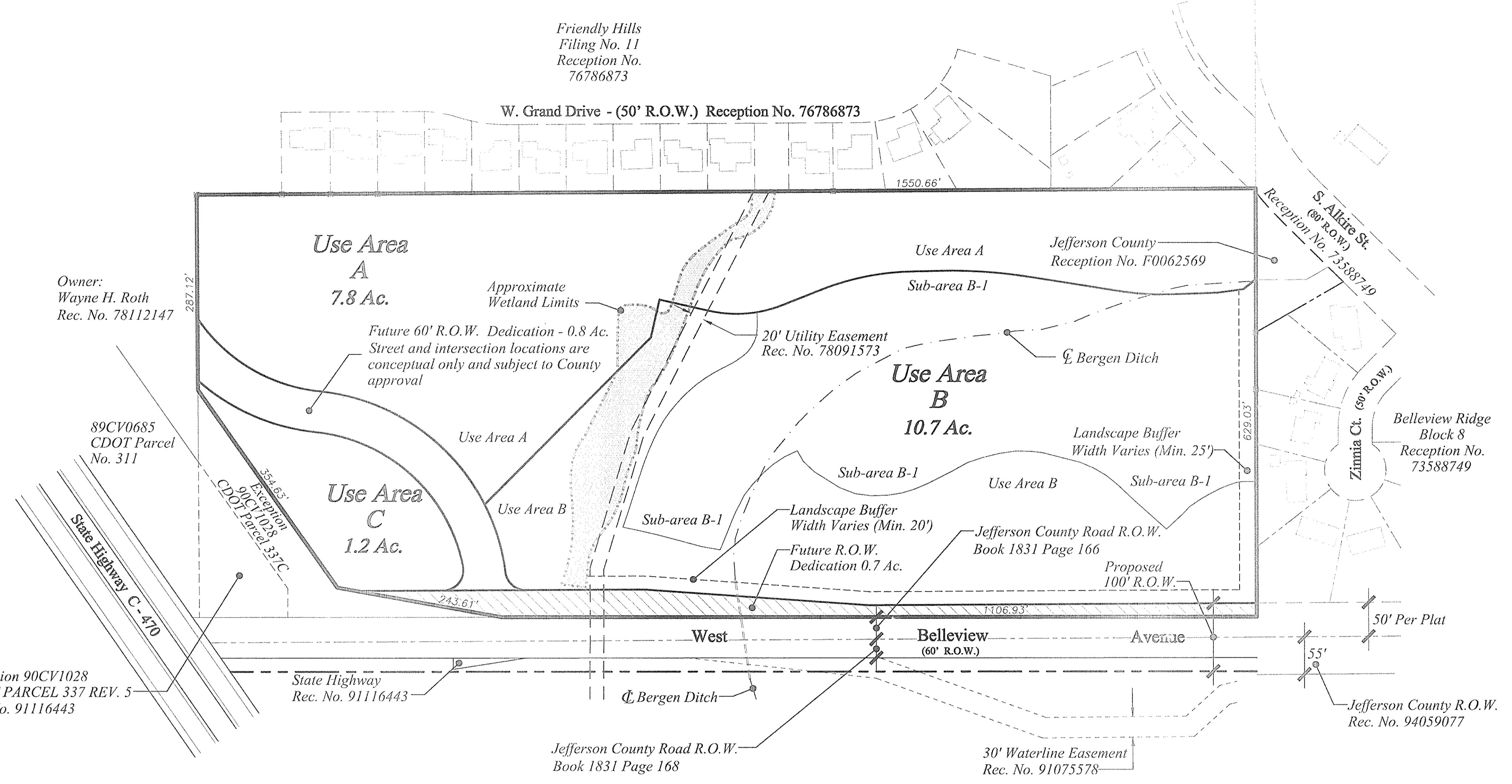
The foregoing instrument was acknowledged before me this 17th day of December, 2001 by Angela Bowman

Witness my hand and seal.

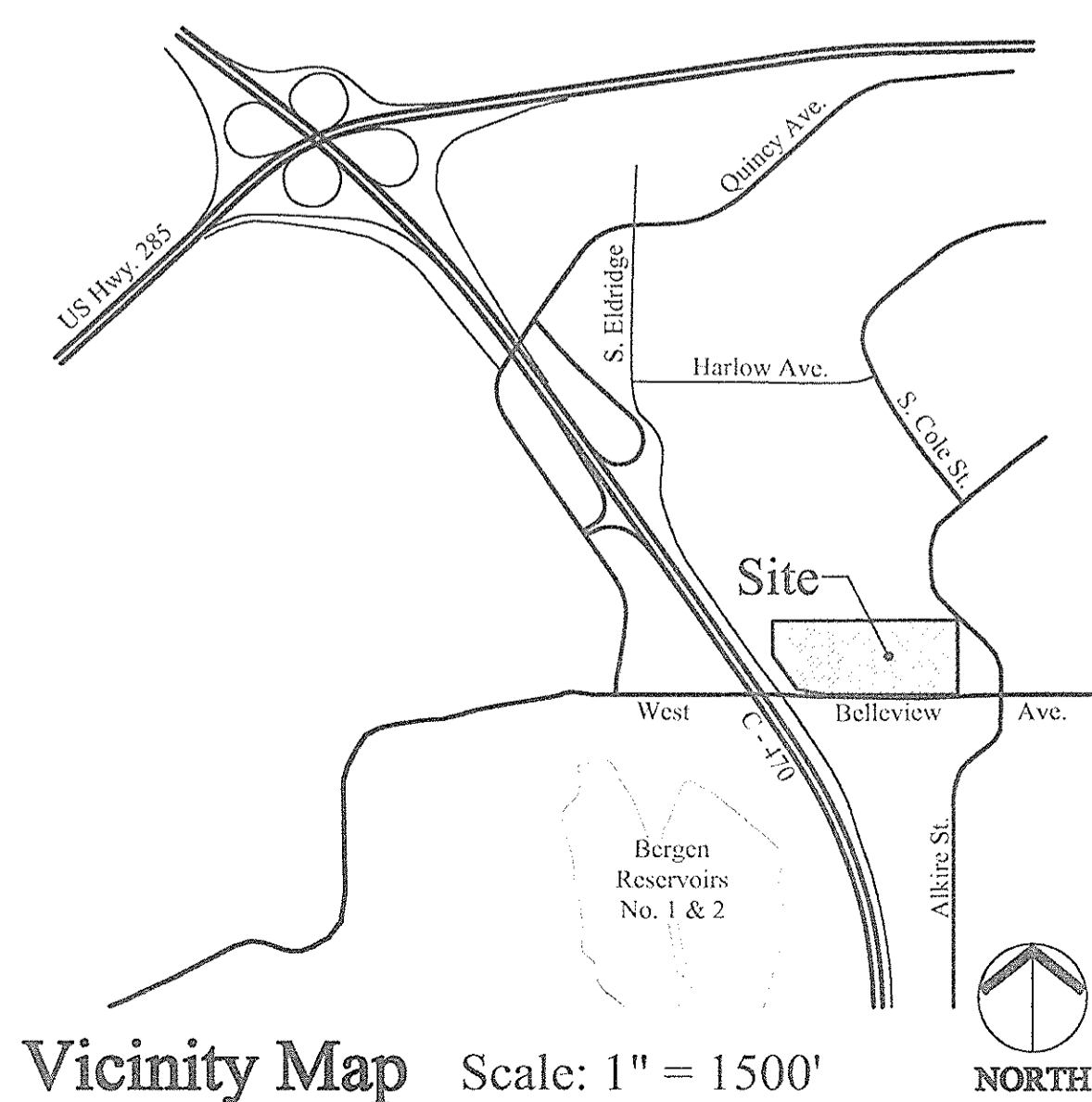
My Commission Expires: January 19, 2003
Notary Public *Annie Sigety*



Rev. Nov. 6, 2001
Rev. June 1, 2001
Rev. January 5, 2001
July 19, 2000



Unofficial
Corrections on plot were made prior to recording.
Wayne Whiffin, By: Susan E. Sausan, Deputy



Vicinity Map Scale: 1" = 1500'

Prepared by
David A. Clinger & Assoc. Ltd.
21759 Cabrini Boulevard
Golden, Colorado 80401
303-526-9126

Owner:
Lincoln Trust Co.
Custodian FBO Gerald R. Stafford
5450 South Syracuse Street
Greenwood Village, Colorado 80111
303-771-1000

STANDARD FLEXIBILITY STATEMENT:

The graphic drawings contained within this Official Development Plan are intended to depict general locations and illustrate concepts of the textual provisions of this Official Development Plan. In granting plat approval, the Board of County Commissioners may allow minor variations for the purpose of establishing:

- a. Final road alignments
- b. Final configuration of lot and tract sizes and shapes
- c. Final building envelopes
- d. Final access and parking locations
- e. Landscaping adjustments

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Red Rocks Pointe

Official Development Plan

Map No. 571

Case No. 00015300RZP1

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Seri Schmaderer Clerk



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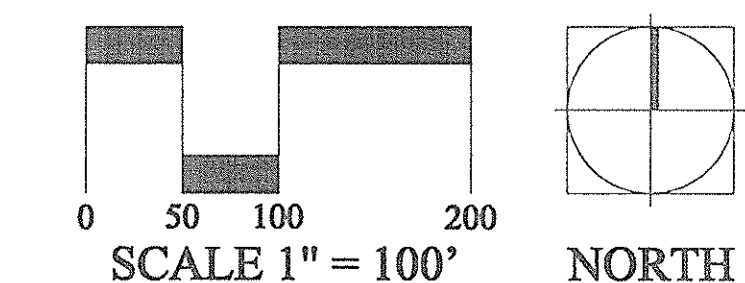
at 9:15 o'clock a.m.
By: *Wayne Whiffin* Jefferson County Clerk and Recorder
By: *Susan E. Sausan* Deputy Clerk

OWNER'S CERTIFICATES:

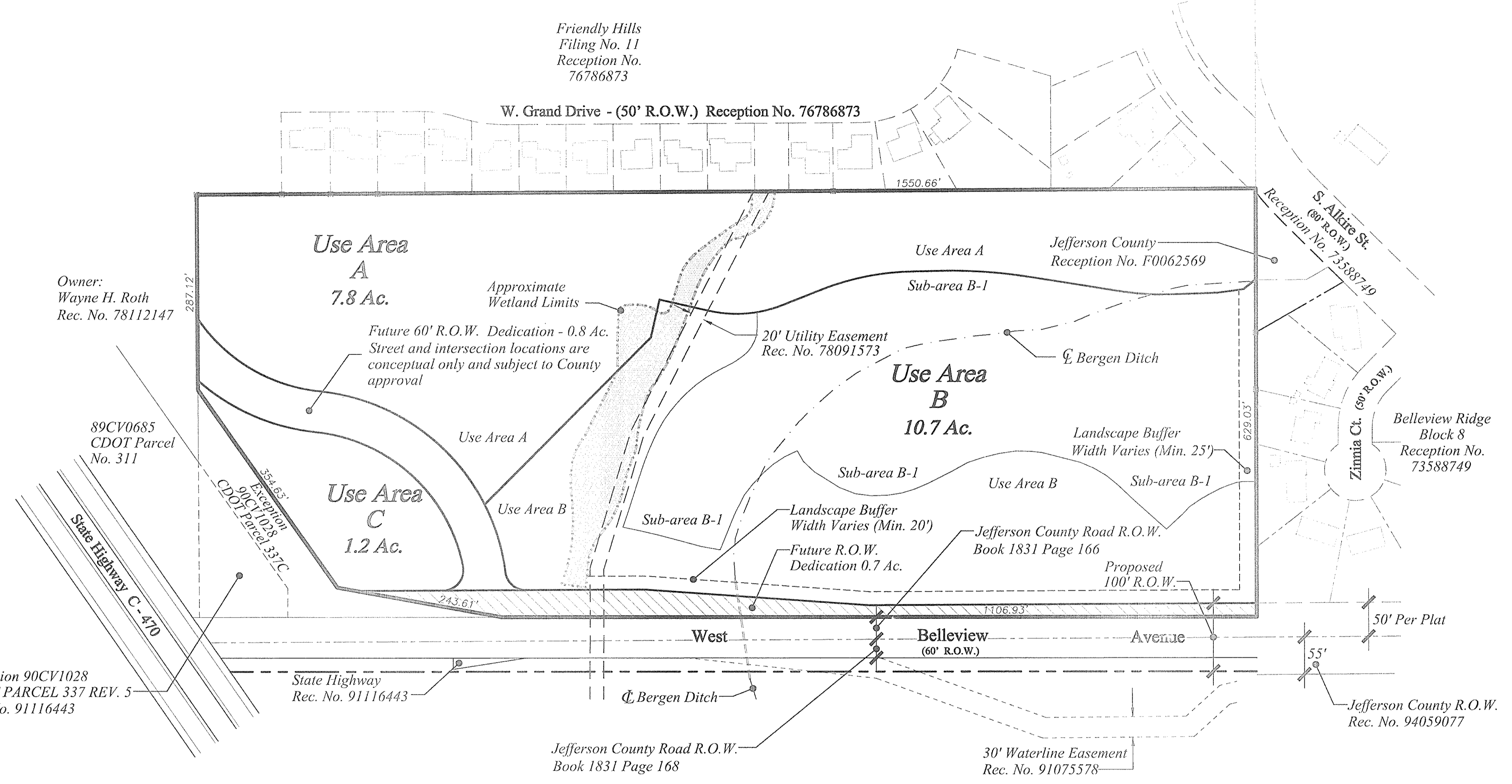
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Annie Sigety

STATE OF COLORADO } SS
COUNTY OF JEFFERSON }
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Witness my hand and seal.
Angela Bowman
Notary Public

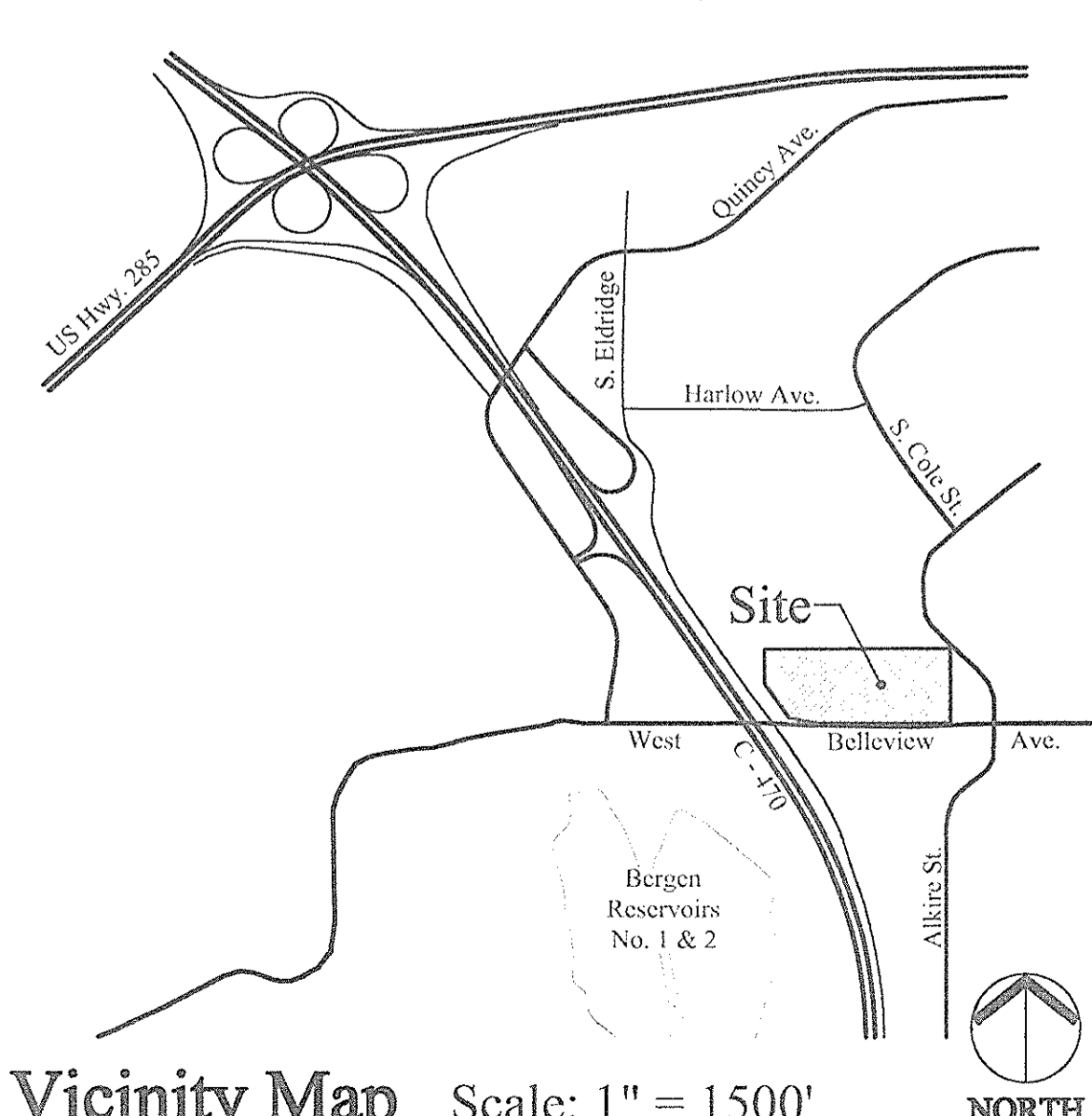
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Unofficial
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Prepared by
David A. Clinger & Assoc. Ltd.
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Owner:
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Custodian FBO Gerald R. Stafford
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APPLICABILITY STATEMENT:
Except as expressly provided otherwise in this Official Development Plan, development of this property shall conform to the Jefferson County Zoning Resolution in effect at the time of platting and building permit application.

Red Rocks Pointe Official Development Plan

A. TITLE AND NAMES

1. Prepared By:
David A. Clinger & Associates, Ltd.
21759 Cabrini Boulevard
Golden, Colorado 80401
303.526.9126 - Telephone
303.526.9320 - Fax

2. Preparation Date: January 5, 2001
Revised: June 1, 2001
Revised: August 28, 2001
Revised: November 2, 2001

3. ODP Name: **Red Rocks Pointe Official Development Plan**

B. STATEMENT OF INTENT

This Official Development Plan is intended to establish standards for a mixed use neighborhood of single family detached homes and limited office / commercial uses on 21.2 acres.

C. PERMITTED USES

1. The following primary uses are permitted within the Red Rocks Pointe development:

a. Use Area A - Residential

•Single Family detached homes

b. Use Area B - Residential

•Lifestyle Single Family Detached Hillside Homes
(See Illustration - A)

These homes are single family detached residences designed to accommodate steeper topographic conditions. Common area landscaping shall extend to the foundation of each home and shall be maintained by a mandatory homeowners association. Outside automatic irrigation utilizing standard sprinkler systems shall be limited to the front yards only. Rear yards shall be planted utilizing xeriscape plant materials only and automatic irrigation shall be limited to a drip system to conserve water consumption.

c. Use Area C - Neighborhood office / Business

•Business and Professional offices
•Medical / dental offices and clinics
•Laboratories less than 5,000 square feet gross leaseable area (GLA) except those involved in any hazardous process or that emit noxious noise; dust, fumes or odor
•State licensed day-care center, preschool or nursery

2. The following accessory uses are permitted within the Red Rocks Pointe Planned Development:

a. Use Areas A and B

•Accessory attached or detached garages
•Visitor or guest parking - onsite, not on-street
•Open space including landscaped areas and recreational areas
•Utility, access, and drainage easements and facilities
•Home occupations in conformance with the Jefferson County Zoning Resolution

b. Use Area C

•Ancillary parking and loading areas

c. All Use Areas

Temporary sales or construction offices and trailers are permitted provided that sales offices are removed within 30 days of the initial sale of the last lot within the use area, and construction offices and trailers are removed from the site within 30 days of the issuance of a certificate of occupancy for the last structure within the use area.

D. LOT AND BUILDING STANDARDS

Use Area A

1. General

a. The maximum number of lots shall be twenty-seven (27).
b. The minimum lot area shall be 5,000 s.f.

2. Height Limitation

a. No building or structure shall exceed thirty-five (35) feet in height.

3. Building Setbacks

(All setbacks shall be measured from the property line.)

Use Area A

a. Minimum front setback	20 feet
b. Front setback with side entry garage	15 feet
c. Minimum driveway length	20 feet
d. Minimum side setback	5 feet
e. Minimum building separation	10 feet
f. Side setback adjacent to a street	15 feet
g. Rear setback	15 feet
h. Architectural projections including but not limited to eaves, cantilevers, pot shelves, and fireplaces may encroach into the required setbacks up to a maximum of twenty-four (24) inches.	

Use Area B

1. General

a. The maximum number of lots shall be thirty (30).
b. The minimum lot area shall be 5,000 square feet.

2. Height Limitation

a. No building or structure shall exceed thirty-five (35) feet in height.
b. Sub-Area B-1: The maximum height for buildings or structures within this sub-area shall not exceed twenty-eight (28) feet. The building height shall be measured from the average height of finished grade within the building footprint to the "mean" or midpoint of the roof (excluding appurtenances.) The average height of finished grade is defined as the midpoint between the lowest point and the highest point at the perimeter of the building footprint.

3. Building Setbacks

(All setbacks shall be measured from the property line.)

Use Area B

(See Illustration A)

a. Minimum front setback	
to living space from property line	10 feet
b. Minimum front setback	
to garage door from property line	14 feet*
*Note: Driveways shall be at least twenty (20) feet in length as measured from the garage door to the back of curb or back of sidewalk to accommodate off-street parking.	
c. Minimum front setback	
to side entry garage	10 feet
d. Minimum side setback	5 feet
e. Minimum building separation	10 feet
f. Minimum side setback	
adjacent to street	12 feet
g. Minimum rear setback	15 feet
h. Minimum rear setback for decks	5 feet
i. Architectural projections including but not limited to eaves, cantilevers, pot shelves, and fireplaces may encroach into the required setbacks up to a maximum of twenty-four (24) inches.	

Use Area C - Neighborhood Office / Business

a. Maximum gross leaseable area (G.L.A.) - 14,636 s.f.
b. Height limitation - No building or structure shall exceed thirty (30) feet in height.
c. Maximum number of lots shall be two (2)
d. Maximum number of buildings shall be two (2)
Note: Multiple tenants per building are permitted.

e. Building Setbacks:

• Belleview Avenue	40 feet
• Internal Streets	25 feet
• Internal lot lines	0 feet
• External property lines	15 feet
• Minimum distance between structures	20 feet
• Common wall buildings	0 feet

Architectural projections including but not limited to eaves and cantilevers may encroach into the required setback up to a maximum of twenty-four (24) inches.

E. NO-BUILD AREA RESTRICTIONS

1. No structures, with the exception of trails, utilities, drainage structures or a street crossing, shall be constructed in the wetland area (as identified on Sheet 1 of the ODP).

F. OFF-STREET PARKING REQUIREMENT

1. Use Areas A and B - A minimum of two (2) covered (garage) spaces shall be provided per single family detached dwelling unit plus two (2) additional parking spaces in the driveway in front of each garage.

2. Each driveway, whether front or side loaded, shall be a minimum of twenty (20) feet in length to accommodate off-street parking.

3. Use Area C - A minimum of three (3) parking spaces shall be provided per 1,000 square feet gross leaseable area (G.L.A.).

4. All open parking spaces shall be 9' x 18' in Use Area C.

5. Loading areas in Use Area C shall be located in drive aisles adjacent to building(s).

G. PRIVATE ROADS AND PUBLIC STREETS

1. All streets shall be installed by the developer. Private streets shall be maintained by a mandatory homeowners association.

2. Vision clearance triangles (VCT) for the portion of the collector street which intersects with W. Belleview Ave. shall be at least fifty-five (55') feet as measured from the property line.

3. Vision clearance triangles for all public and private streets internal to the subdivision shall be at least thirty (30) feet as measured from the back of curb.

4. Landscaping above forty-two (42") inches and parking shall not be permitted within the VCT in order to maintain pedestrian and vehicular safety.

5. Driveways from streets to residential units may be designed as shared driveways. Minimum width of a shared portion of a driveway shall be sixteen (16) feet.

H. FENCE AND RETAINING WALLS

1. No fence shall obstruct sight distances at the intersection of private or public streets, driveways or a combination thereof as determined by Jefferson County.

2. Maximum fence height in any use area shall be six (6) feet.

3. No barbed wire or electric fence shall be permitted in the Red Rocks Pointe development.

4. Fences are not permitted in the internal streetscape area.

5. No fences shall be permitted within the required front setback of any residential or commercial development.

6. Fence permits are required for the construction of any fences over forty-two (42) inches in height.

7. The maximum height of any single retaining wall shall not exceed six (6) feet.

8. A minimum four (4) foot wide planting area shall be required between multiple, stair-stepped retaining walls.

9. Retaining walls over thirty-six (36) inches in height shall require certification by a professional engineer as to design and structural stability. Permits shall be required for retaining walls.

10. Use Area A - Continuous closed fences shall be permitted on the lot line between lots (rear and side only) and shall not exceed six (6) feet in height.

11. Use Area B - No fencing along common lot lines shall be permitted. However, privacy fences to accommodate seating areas, hot tubs and other similar outdoor uses shall be allowed when attached to and extending from the rear of homes. These fences shall not exceed six (6) feet in height, and shall be painted or stained to match the residence to which they are associated.

12. Use Area B - Lot lines adjoining open space within use area "B" shall be limited to the use of an open-rail style fence only, and shall not exceed four (4) feet in height.

I. LIGHTING

1. Lighting shall not cast significant glare on adjacent or neighboring properties, or on internal or external streets.

2. Pedestrian pole lights for recreational areas shall be downcast, cut-off type not to exceed twelve (12) feet in height.

3. Street and parking area pole lights shall be downcast, cut-off type not to exceed twenty (20) feet in height.

4. Building mounted lights must be shielded and directed downward or toward the building to which they are attached.

J. SIGNS

1. Project Entry

a. One (1) double-faced or single-faced monument style project identification sign shall be permitted at project entry along West Belleview Avenue and shall not exceed a maximum of thirty-two (32) square feet per face, excluding any structural base and/or wall. The maximum height of any such sign shall be eight (8) feet, including the structural base and/or wall. If placed on an earthen berm, the berm height is included in the measurement. The minimum setback is eight (8) feet from any property or right-of-way line.

2. Neighborhood Entries - Use Areas A and B

a. Two (2) double-faced or single-faced monument style internal neighborhood identification signs are allowed per residential neighborhood (use area) not to exceed a maximum of twenty-four (24) square feet per face, excluding any structural base and/or wall. The maximum sign height shall be six (6) feet, including the structural base and/or wall. If placed on an earthen berm, the berm height is included in measurement. The minimum setback shall be eight (8) feet from any property or right-of-way line.

3. Use Area C

a. Building Identification Sign Requirements

1. Number Allowed: A total of two (2) signs per building. No more than one (1) of the signs may be a monument sign.

2. Maximum Size: Wall signs not to exceed thirty-two (32) square feet each for one (1) tenant. Monument sign not to exceed thirty-two (32) square feet per face for one (1) tenant. Monument sign shall not exceed fifty (50) square feet if accommodating multiple tenants.

Red Rocks Pointe Official Development Plan

3. Maximum Height: If monument sign, six (6) feet from finished grade. Wall signs shall not exceed the height of the wall to which they are attached. If canopy type sign, a minimum clearance of seven (7) feet shall be provided within a fifty-five (55) foot vision clearance triangle.

4. Minimum Setback: Eight (8) feet from any property line.

5. Sign Type: All signs must be wall or monument; pole signs, rooftop signs and tethered advertising devices on the ground or on building are prohibited.

b. *Professional Office / Commercial Tenant Wall Sign Requirements:*

1. Number Allowed: One (1) per tenant per building face. A maximum of two (2) signs per tenant is permitted - one per frontage.

2. Maximum Size: One (1) foot times length in feet of store frontage not to exceed thirty-two (32) square feet per sign.

qsave

3. Multiple Tenants Per Building: One (1) square foot per one (1) lineal foot of frontage up to fifty (50) square feet for each tenant.

4. General

a. No sign shall rotate or have moving pieces. No blinking or flashing lights are permitted for any sign.

b. Signs depicting time and temperature are permitted.

c. Where lighting is permitted, illumination shall be from a concealed light source only. Illumination of all signs except temporary signs is permitted.

d. Temporary on-site marketing signs not exceeding thirty-two (32) square feet, double or single-faced are permitted. Signs shall not exceed eight (8) feet in height.

e. Temporary on-site directional / informational signs not exceeding ten (10) square feet, double or single-faced are permitted. Signs shall not exceed eight (8) feet in height.

f. All temporary signs must be removed upon the closing of the last unit within a particular use area within thirty days of last certificate of occupancy (CO) issuance.

g. A sign permit must be obtained prior to the construction of any sign.

K. OUTDOOR STORAGE AND SERVICE AREAS

1. Storage or parking of commercial type vehicles, as well as recreational vehicles such as boats, trailers and campers, shall not be permitted within the planned development, unless completely enclosed within a garage. No storage of such vehicles is allowed within any open space area.

2. No outside storage of materials other than those required for the initial construction of the structures shall be permitted.

3. Trash shall be kept in sealed containers within the residential units until the day of collection and within screened areas within the office / commercial area. All outdoor trash collection locations within the commercial area shall be screened from public view with a fence, wall and / or landscaping. An opaque gate must screen the point of access, but no landscaping is required along this side.

4. Screening fences and walls abutting commercial building(s) shall be made of the same finish materials as the building. Screening fences and walls separate from the building shall be made of the same or compatible finish materials as the building to which it is an accessory.

5. All screening fences and walls within the commercial area must be six (6) feet tall and the perimeter must be landscaped as follows: within a minimum five (5) foot wide planting strip adjacent to the fence, provide a continuous row of shrubs planted at a minimum spacing of five (5) feet on center for the length of the fence or wall.

L. OPEN SPACE, BUFFER AREAS AND LANDSCAPING

1. Unobstructed common open areas within the development shall contain areas for recreational uses such as pocket parks, playground equipment, walkways and trails for the benefit of the residents of the development. The developer shall install park facilities, playground equipment, walks and trails in conjunction with the development of all common areas. The homeowner / property owner association shall maintain all common landscaped areas.

The developer shall landscape all common areas such as pocket parks, internal trails and perimeter landscape treatment in all use areas. The homeowner / property owner association shall maintain all common landscaped areas.

2. Open space buffers shall be provided in several critical areas of the development at the time of platting. A landscape buffer of varying width (minimum 20') shall be installed along West Belleview Avenue. This buffer shall be landscaped with a minimum quantity of one (1) tree for every twenty (20) lineal feet of street, and six (6) shrubs for every 350 square feet of landscape area. In addition, a buffer of varying width (minimum 25') shall be reserved along the east property line adjacent to the Belleview Ridge Subdivision. This buffer shall be landscaped with a minimum quantity of one (1) tree for every thirty (30) lineal feet or buffer. Trees in all buffer areas may be grouped together to create more natural-looking arrangements, and at least 50% of these trees must be evergreens to maximum their screening effect.

An open space landscaped buffer / screen of varying width (minimum twenty (20) feet) shall be installed on the west boundary of Use Area C, adjacent to the C470 right-of-way. This buffer shall be landscaped with a minimum quantity of one (1) evergreen for every fifteen (15) lineal feet and eight (8) shrubs for every 350 square feet of landscaped area.

3. The existing wetland within Use Areas A and B shall be reserved for open space purposes at the time of platting with a minimum 120 foot wide open corridor area.

4. A minimum twenty-five (25) percent of Use Areas A and B combined shall be common open space and landscaped areas (natural, open areas and buffers).

5. A minimum of twenty (20) percent of Use Area C shall be provided as common landscaped area.

6. In Use Areas A and B, landscaped streetscapes shall be provided adjacent to and within the right-of-way of all internal streets. The streetscape planting shall include, at a minimum, twelve (12) foot width of irrigated lawn area each side, one (1) tree per lot minimum. Where no lots occur, one (1) tree shall be placed for every forty-five (45) feet of lineal street frontage. Streetscape plantings shall consist of shade trees, ornamental trees, evergreen trees, or a combination of these. Trees may be grouped together to create more informal and natural-looking arrangements.

7. The following minimum sizes apply wherever landscaping is required:

Deciduous shade trees	2½ inch caliper
Evergreen trees	6 foot height (except on the west boundary of Use Area C - 8 foot height)
Ornamental trees	1½ inch caliper
Shrubs	5 gallon container

8. Common landscaped open space may include:

a. All planted areas, flower beds, and planters, including landscaped areas within parking lots and medians.

b. Walkways, pedestrian paths, equestrian trails, bicycle paths, and natural drainage ways.

c. Buffer areas along West Belleview Avenue (south) and along existing SFD Development (east).

9. Minimum of fifty (50) percent of the overall common landscaped areas shall be planted utilizing xeriscape trees, shrubs, ground covers and native seed grasses at least twenty-five (25) percent of the trees and shrubs shall be evergreen.

10. All sites disturbed for construction, but not yet proposed for development shall be graded and seeded with native seed mix per Jefferson County.

M. HOMEOWNER / PROPERTY OWNER ASSOCIATIONS

1. In Red Rocks Pointe, all use areas shall be covenant controlled with architectural control and design guidelines established by the developer and administered by the developer or the homeowner / property owner association.

2. A mandatory homeowner / property owner association shall be established by the developer for the enforcement of the community's Master Declaration and Conditions, Covenants and Restrictions, and for ownership and maintenance of any common property not dedicated to a public entity, including but not limited to private roads, storm water detention pond areas, under drains and drainage swales in common open space areas, and open space tracts (natural, open or buffer areas). In the event that the homeowner / property owner associations do not properly maintain the drainage facilities, then Jefferson County shall have the right to repair these facilities and assess the homeowners association for any charges as a result of said repairs.

N. ARCHITECTURAL STANDARDS

1. Single Family Residential

Design standards for single family detached residential development are as follows:

a. Roofs

- All single family homes shall have a pitched roof with a minimum slope of at least 5/12.
- All sloped roofs shall include a minimum twelve (12) inch overhang beyond each major wall plane of the residence. Other acceptable architectural features such as eyebrows, cornice boards or frieze boards may be used.
- All residences within the development shall have roofs with high profile composition shingles such as tile, dimensional asphalt shingles, or similar 'Class A' roofing.

b. Openings

- An area equal to at least twenty (20) percent of the total perimeter shall consist of openings, including doors, garage doors and windows.
- Entrances shall be identifiable by an architectural treatment as a covered porch, recessed doorway, double door, entry sidelights, or a different roofline treatment.
- Window frames shall be wood, anodized vinyl or aluminum clad. Wood frames shall be painted, sealed or stained. All windows shall be trimmed with a minimum 1 x 4 trim all sides.

2. Office / Commercial

a. General

- Architectural design is to reflect a unified architectural theme. The design unity shall be implemented with regard to scale, materials, color, shape and design motif.
- Visual interest and human scale will be provided by horizontally modulating facades or by varying the material, color and texture, and by the use of canopies and trellises.
- The design of any use within the commercial area shall be a "360-degree" design, i.e., every elevation of a building shall be architecturally "finished" with the same materials and design as the front façade. There shall be architectural compatibility in typical details, (i.e., directional signage, trash enclosures, rooftop mechanical screens, etc.) in the form of similar building materials, color, massing, scale and design details.
- Shallow sheds, gable or hip roofs shall be required to reflect the visual character of the adjacent residential neighborhood.

b. Parking

- Refuse containers and accessory structures shall be screened with landscaping and /or fences or walls and shall not occur within the front setback area or occupy any parking space.

c. Colors

- The color palette shall be natural earth tones or pastels. White, primary colors, and other bright colors shall be permitted as accent colors only.

d. Materials

- Architectural exterior building materials include concrete aggregate, architecturally treated pre-cast concrete, architectural concrete block, brick, wood, stone veneers, granite, ceramic tile, architectural metal (finished surface) and reflective. Reflective glass will be permitted and shall be limited to low outdoor reflectance, e.g., twenty (20) percent or less reflectivity. No mirrored glass such as metallic gold shall be used on the exterior surfaces of structures.

e. Mechanical Equipment

- All rooftop mechanical equipment shall be screened on all sides by the architectural elements of the building such as parapet walls or mechanical penthouse rooms that are designed as an integral part of the building. Mechanical penthouse rooms shall not exceed eight (8) feet in height above the finished wall height of the building.
- All ground-mounted mechanical equipment shall be screened with walls, fences or landscaping.

O. VEHICULAR CIRCULATION

1. Public and private roads within this planned development shall conform to the standards found in the Jefferson County Roadway Design and Construction Manual and Land Development Regulations that are in effect at the time of platting.

P. TRAILS

1. In order to encourage pedestrian circulation within the Red Rocks Pointe neighborhood, the following trails and walkways shall be built by the developer:

a. An eight (8) foot wide concrete trail along West Belleview Avenue. Trail easements, if required, shall be granted at time of platting for trails located outside right-of-way.

b. Five (5) foot wide concrete trails where necessary, connecting development areas to the other trail corridors and open space areas.

c. Trails for pedestrian use shall be constructed by the developer within easements or open space tracts, and maintained by the developer or their assigns.

2. The result of these planned trails will be a coordinated trail system which will allow pedestrian circulation along West Belleview Avenue as well as internal circulation to drainage ways, pocket parks and between development areas within the development.

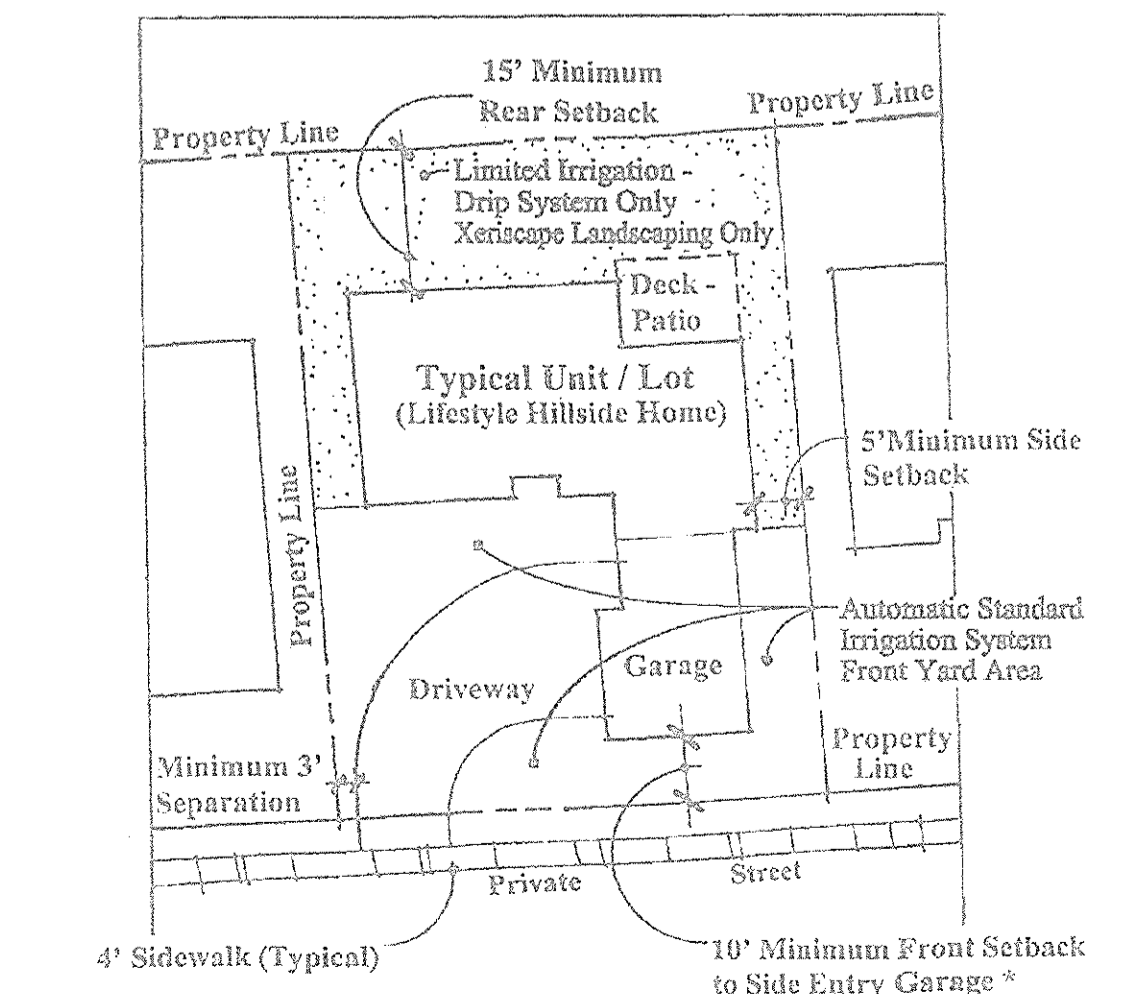
Q. UTILITIES

1. All new utilities, with the exception of fire hydrants, electrical transformers, telephone boxes, television dishes and cable television boxes, or other similar facilities shall be installed underground.

R. GENERAL REQUIREMENTS

Other issues not specifically addressed herein will be addressed by those standards in the Jefferson County Zoning Resolution for the district most similar to this ODP.

Illustration A:



Note: Driveways shall be at least twenty (20) feet in length as measured from back of curb or back of sidewalk to accommodate off-street parking

Unofficial

LAST EDIT DATE:

DRAW NAME:

PROJECT NAME:

PROJECT No.:

ADDITIONAL CASE DOCUMENTS

Development Permit Application

Case Number: 22-114376 PA

Project Team Contact Information

Craig R. Gardner	crgardner.construction@gmail.com	(303) 898-0080
Property Owner 1	<i>Email (required)</i>	<i>Phone Number</i>
9446 Cherrywood Trail		Littleton 80127
<i>Address</i>		<i>City</i> <i>Zip</i>
Property Owner 2	<i>Email (required)</i>	<i>Phone Number</i>
<i>Address</i>		<i>City</i> <i>Zip</i>
Developer / Subdivider	<i>Email (required)</i>	<i>Phone Number</i>
Craig R. Gardner		(303) 898-0080 80127
<i>Address</i>		<i>City</i> <i>Zip</i>
9446 Cherrywood Trail	crgardner.construction@gmail.com	Littleton
Authorized Representative	<i>Email (required)</i>	<i>Phone Number</i>
Progressive Planning Services of CO, Richard L. Miller, AICP		(303) 809-2128 80504
<i>Address</i>		<i>City</i> <i>Zip</i>
1123 Button Rock Drive	rmiller@ppsofco.com	Longmont
Engineer	<i>Email (required)</i>	<i>Phone Number</i>
<i>Address</i>		<i>City</i> <i>Zip</i>

Property Description

5057 & 5067 South Eldridge Street (Parcel ID: 59-074-10-001)		
<i>Address of Subject Property and/or Parcel ID Number</i>		<i>City</i> <i>Zip</i>
5067 & 5057 South Eldridge Street	1.34 Acres	
<i>Access Via</i>	<i>Acreage</i>	<i>Map Sheet</i>

Legal Description:

Lot 1, Block 3, Red Rocks Pointe

Additional Information (to support or clarify this application):

Development Permit Application

Case Number: 22-114376 PA

Disclosure of Property Ownership

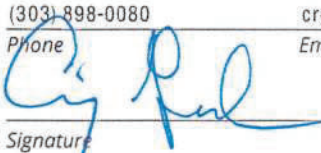
- Owner is an individual. Indicate name exactly as it appears on the deed.
 Owner is a corporation, partnership, limited partnership, or other business entity. Name principals and/or managers on a separate page. Include the articles of organization, partnership agreement, resolution of managers, etc., as applicable to establish legal signatures.

Please provide the name(s), mailing address(es), street address(es), and phone number(s) for all owners.

Property Owner Affidavit

I/We Craig R. Gardner, being first duly sworn, depose and state under penalties of perjury that I am (*we are*) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data, and all other supplementary matter attached hereto and made part of this application, are honest and true to the best of my (*our*) knowledge and belief. I (*we*) understand that this application must be complete and accurate prior to a hearing being scheduled. I (*we*) authorize County staff to visit the site as necessary for proper review of this application.

If there are any special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site.

Craig R. Gardner
Name
9446 Cherrywood Trail, Littleton, CO 80127
Address
(303) 898-0080 crgardner.construction@gmail.com
Phone Email

Signature

Name

Address

Phone Email

Signature


County of Jefferson]
State of Colorado]

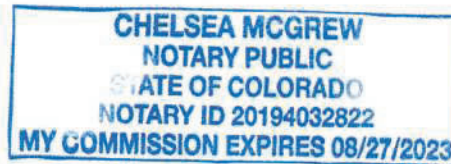
SS

Sworn to and subscribed before me this 10 day of October, 2022.
(day) (month) (year)

By Craig R. Gardner
(name printed)

Witness my hand and official seal.


Notary Public
My Commission expires 08/27/2023
(date)



Development Permit Application

Case Number: 22-114376 PA

Authorized Representative

I/We further permit Richard L. Miller, AICP, PPSofCO to act as my/our representative in any manner regarding this application, to answer questions and to represent me/us at any meeting and public hearing(s) which may be held on this application.

Note: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

Richard L. Miller, AICP, PPSofCO

Representative Name

1123 Button Rock Drive, Longmont, CO 80504

Address

(303) 809-2128

rmiller@ppscofco.com

Phone

Email



Owner's Signature

10-10-22

Date

Progressive Planning Services of Colorado

Richard L. Miller, AICP
1123 Button Rock Drive, Longmont, CO. 80504
e-mail: rmiller@ppsco.com
Phone: (303) 809-2128

July 13, 2023

Ms. Sara Hutchinson, Planner
Jefferson County Planning & Zoning Department
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419-3550

Re: Zoning Application Materials for a Proposed Ten-Unit Townhome Community at 5057 & 5067 South Eldridge Street, Parcel ID Number 59-074-10-001

Dear Ms. Hutchinson,

This zoning application is being submitted by Progressive Planning Services of Colorado, Richard L. Miller, AICP, 1123 Button Rock Drive, Longmont, Colorado 80504; Phone: (303) 809-2128; e-mail: rmiller@ppsco.com; on behalf of the owner, Craig R. Gardner; 9446 Cherrywood Trail, Littleton, Colorado 80127; Phone: (303) 898-0080; e-mail: crgardner.construction@gmail.com.

The subject property is Jefferson County Parcel ID Number 59-074-10-001, consisting of 1.34 acres, and is currently zoned Planned Unit Development under the Red Rocks Pointe Official Development Plan (ODP Book 114, Page 45, Reception Number F1381743) and identified as "Use Area C", which allows for "Neighborhood Office/Business" and allows up to 14,636 square feet of gross lease area.

This Planned Unit Development rezoning request is proposing a ten (10) unit townhome community. Access to all units will be from an internal road, Red Rocks Pointe Circle, off the existing South Eldridge Street. The units will have uniform architectural standard and a home owner's association will be created to maintain the common open space and landscaped areas. An open space/trail system with exercise stations has been designed around the perimeter of the property (please see the enclosed Red Rocks Pointe Townhome Community Open Space/Trail Plan). This amenity is intended for the use by the future residents of the townhome units and the general public. The trail system has two (2) connection points to the existing C-470 Bikeway.

The subject property is located within the South Plains Area Plan. The subject property is recommended for "Limited Commercial and/or Residential". The proposed use of townhome zoning conforms to that criterion. The plan further indicates that "single and multi-family dwelling units should be permitted when the impacts would be compatible with adjacent land uses, traffic capacity of the arterials, density of surrounding residential areas, and availability of necessary services". The items included with this

rezoning request will show that this proposed rezoning meets the goals and objectives of the South Plains Area Plan and that the proposed townhome use is fitting and compatible with the surrounding neighborhood.

The Pre-Application Meeting for this rezoning request was held on June 30, 2022. Referral agency responses were received and summarized in the "Pre-Application Review Response", dated July 28, 2022. Materials submitted with this application will address issues and requirements that were referenced by the various departments and referral agencies.

This rezoning application includes the following submittal requirements:

- Development Permit Application
- Application and Referral Agency Fees (to be paid after intake review by county staff)
- Cover Letter
- Proof of Ownership – Quit Claim Deed at Jefferson County Reception Number 2016072272
- Legal Description
- Official Development Plan – Graphic and Written Restrictions
- Site Plan (included on ODP graphic)
- Architectural Elevation
- Visual Analysis (includes report and photo simulations)
- Density Compatibility Analysis
- Open Space/Trail Plan
- Project Identification Sign Detail
- Environmental Questionnaire and Disclosure Statement
- Water & Sanitation – Letter from Willowbrook Water and Sanitation District
- Fire Protection Proof – Letter from West Metro Fire Protection District
- Sensory Impact Assessment
- Transportation Analysis

We look forward to work with the county staff on this proposed rezoning to allow the townhome development. Please let me know if any additional information is required to complete this application.

Sincerely,



Richard L. Miller, AICP
Progressive Planning Services of Colorado
Phone: (303) 809-2128
e-mail: rmiller@ppsofco

cc: Craig R. Gardner

ENVIRONMENTAL QUESTIONNAIRE AND DISCLOSURE STATEMENT

NAME OF PROJECT: RED ROCKS POINTE, LOT 1 - OFFICIAL DEVELOPMENT PLAN

CONTACT PERSON: RICHARD L. MILLER PH (303) 809-2128

PROPERTY LOCATION: 5067 S. ELDRIDGE STREET (PARCEL ID#: 59-074-10-001)

On this property, do any of the following conditions exist, or have any of the following conditions existed at any time in the past?

SECTION	CONDITION	NO	YES
A	Placement of earthen fill from an outside source, operation of a solid waste disposal site or landfill, whether private or commercial, legal or illegal	✓	
B	Asbestos or asbestos-containing materials used or stored within any existing buildings or anywhere else onsite	✓	
C	Storage or use of electrical equipment such as transformers or capacitors, other than in the provision of normal electrical service	✓	
D	Above or underground storage tanks containing gasoline, diesel, fuel oil, waste oil or any other liquid chemical storage	✓	
E	Storage or use of pesticides and herbicides or any other agricultural chemicals, other than for typical household or garden use	✓	
F	Hazardous or dangerous chemicals stored, released or otherwise emitted anywhere on the property	✓	
G	Storage or use of explosives, including dynamite, blasting caps, or unexploded ordinance such as bullets and bombs	✓	
H	Radiation hazards such as radiation from uranium mine and mill tailings, nuclear reactors, and/or the processing, handling, disposal and/or deposition of radioactive materials	✓	

If you answered "NO" to ALL of the above, please sign below in the presence of a NOTARY PUBLIC and return this page only to the Department.

If you answered "YES" to ANY of the above, please complete Parts I and II on page 2 AND complete any SECTION on pages 3-5 to which you responded "YES" above. Then sign below in the presence of a NOTARY PUBLIC and return the entire packet (pages 1-5) to the Department.

As the present owner of the Property or as an officer or a general partner of the present owner of the Property (or duly authorized representative of such owner), I am familiar with all of the operations presently conducted on the Property. I have made a diligent inquiry into the former uses of the property; and hereby certify to and for the benefit of Jefferson County that to the best of my knowledge and belief the information disclosed on or attached to this form is true and correct.

NAME: Craig Gardner DATE: 11-10-22

State of Colorado)
County of Jefferson) ss.

The above and foregoing Environmental Questionnaire and Disclosure Statement was acknowledged before me this 10 day of November, 2022 by Craig Gardner

WITNESS my hand and official seal.
Janet Cyr
NOTARY PUBLIC

MY COMMISSION EXPIRES: 5/23/2024

JANET CYR
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20164019694
MY COMMISSION EXPIRES 05/23/2024

MS

Recorded at _____ o'clock _____ M.,
Reception No. _____ Recorder

QUIT CLAIM DEED



R \$11.00
D \$0.00

THIS DEED, Made this 22nd day of July
between Red Willow Development, LLC
4852 SILVER PINE DR.
CASTLE ROCK, CO. 80108

2016 2016072272
07/25/2016 12:57:52 PM 1 Page(s)
JEFFERSON COUNTY, Colorado

of the _____ County of Douglas and State of _____
Colorado, grantor(s), and
Craig R. Gardner

whose legal address is 4852 SILVER PINE DR.
CASTLE ROCK, CO. 80108

of the _____ County of Douglas and State of Colorado, grantee(s),

WITNESSETH, That the grantor(s), for and in consideration of the sum of _____ Dollars
the receipt and sufficiency of which is hereby acknowledged, ha _____ remised, released, sold and QUIT CLAIMED, and by
these presents do _____ remise, release, sell and QUIT CLAIM unto the grantee(s). _____ heirs, successors and assigns,
forever, all the right, title, interest, claim and demand which the grantor(s) ha _____ in and to the real property, together with
improvements, if any, situate, lying and being in the _____ County of JEFFERSON and State of
Colorado, described as follows:

Red Rocks Point Lot 1, Blk. 3, Section 7,
Township 5, Range 69, Quarter Section SE

also known by street and number as: 5057 & 5057 E Douglas ST.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or in
anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor(s), either in law or equity,
to the only proper use, benefit and behoof of the grantee(s) _____ heirs and assigns forever.

IN WITNESS WHEREOF, The grantor(s) ha _____ executed this deed on the date set forth above.

Craig Gardner

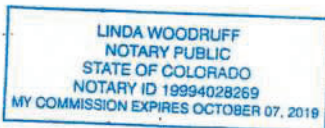
STATE OF COLORADO,

County of Arapahoe

The foregoing instrument was acknowledged before me this 25th day of July, 2016
by Craig R. Gardner

My commission expires 10-7-19

Witness my hand and official seal.



Linda Woodruff

Notary Public

*If in Denver, insert "City and".



West Metro Fire Protection District

June 28, 2022

433 S. Allison Parkway
Lakewood, CO 80226
Bus: (303) 989-4307
Fax: (303) 989-6725
www.westmetrofire.org

Fritz Clauson
Jefferson County Planning and Zoning
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419-3350
fclauson@co.jefferson.co.us
303-271-8767

RE: 22-114376PA – 5067 S Eldridge St

Fritz Clauson,

This property is within the West Metro Fire Protection District (WMFPD). Fire service will be provided as long as provisions of the currently adopted 2018 edition of the International Fire Code, including Jefferson County amendments, are met in development.

WMFPD has the following comments and requirements regarding this application:

1. WMFPD has no concerns or comments regarding the application to rezone the property.
2. Additional comments are based on the limited information provided on the concept site plan submitted and should not be considered a full site plan review. Comments are representative of the requirements of the WMFPD for the benefit of the applicant, but do not reflect a formal or complete review or approval and additional comments and corrections should be anticipated. Specific site requirements including water supply/hydrant locations, site access, building configuration, site infrastructure, etc, will require further fire department review and approval.
 - a. All required fire access roads, lanes, and alleys shall be recorded as Emergency Access Easements on the final plat.
 - b. It appears likely that additional fire hydrant(s) are required. The International Fire Code (IFC) Appendix B & C are applicable for determining fire flow requirements and resulting hydrant counts and distribution. A plan demonstrating compliance with water supply requirements is anticipated. Further evaluation of hydrant locations is required prior to approval.
 - c. Fire lane width is required to be 24ft clear, excluding shoulders and on-street parking. If the proposed structures exceed 30ft to the top edge of eave or top of parapet from grade, then additional aerial access items are required. Refer to 2018 IFC Section D105 if applicable. Submit a 'No Parking/Fire Lane' sign plan for approval which shows signs at no more than 75' intervals on both sides of the street where proposed. See the attached street width matrix for additional clear width requirements.

Permits are required from the fire district for new and core/shell buildings, tenant improvement projects, all work on automatic fire protection systems, all work on automatic fire detection systems, solar photovoltaic systems, underground fire line, radio amplification, and for the storage of hazardous materials.

WMFPD reserves the right to provide additional comments/requirements if there are any changes to the application or at the time plans are submitted and reviewed per applicable codes and amendments.

"Whatever It Takes" ... To Serve

If you have any questions contact me at 303-989-4307 extension 558 or e-mail: jbrennan@westmetrofire.org.

Respectfully,

A handwritten signature in black ink, appearing to read 'John Brennan', is written over a light gray rectangular background.

Captain John Brennan

Deputy Fire Marshall

Life Safety Division

West Metro Fire Protection District

WILLOWBROOK

Water and Sanitation District

May 3, 2022

Public Improvement Coordinator
Jefferson County Highways & Transportation Department
100 Jefferson County Parkway Suite 3500
Golden, Colorado 80419-3500

RE: Will Serve Letter for Red Rocks Pointe 5057 and 5067 S Eldridge St

Attention Public Improvement Coordinator:

The above-referenced property is located within the legal boundaries of the Willowbrook Water and Sanitation District (herein referred to as the District) for water and sanitary sewer services. Tap permits will be sold upon payment of the District's tap fees, continued compliance with the District's Rules and Regulations, and payment of all other fees and charges associated with the development, including to the Denver Water Department.

Water is provided to the District under Denver Water Distributor Contract No. M-195. The District has sufficient water capacity to serve 5057 and 5067 S Eldridge Street. Currently, there is no water tap allocation program in effect, and there are no other restrictions on new connections to the public water and sanitary sewer systems

However, please note that the District's authority to issue water tap permits can be restricted or terminated by the Denver Water Board upon 90 days' notice, and sewer taps can be suspended by the Metro Wastewater Reclamation District.

If you have any questions regarding this letter or if additional information is needed, please contact the District office at (303)986-2275.

Sincerely,



Eric Byrd
District Manager

DEVELOPMENT REPORT
Sensory Impact Assessment

Name of Plat <i>ODP</i>	Date
<i>Red Rocks Pointe, Lot ODP</i>	<i>5-2-2023</i>
Name of Applicant(s)	Case Number
<i>CRAIG R. Gardner / Progressive Planning Services LLC</i>	<i>22-114376 PA</i>

**This sensory impact supply report is being submitted as required by
Section 4B.32 of the Jefferson County Land Development Regulation.**

- Since this subdivision is existing, there will be no changes in acoustical, ocular or olfactory levels.
- Due to the small size of this development, there will be negligible impacts to acoustical, ocular and olfactory levels. Acoustical, ocular and olfactory levels will not exceed those set forth by Section 26 of the Land Development Regulations. *(Per NATHAN Seymour, Planning Engineering, a Sound Study will be required at time of plat.)*
- This development is located within the Airport Influence area as defined in the most recent edition of the North Plains Community Plan. The appropriate aviation easements will be provided.
- Per Section 26 A.4b of the Land Development Regulation:
Noise projected from existing roadways and uses onto proposed park, school, or residential developments shall not exceed the dBA levels as shown in the dBA Table. If noise levels exceed the dBA levels set forth in the dBA Table, mitigation that reduces levels to or below the required dBA shall be provided. (orig. 4-4-06)

Professional planner, certified industrial hygienist, landscape architect or engineer registered in the State of Colorado signature

Date

Richard D. Miller, AICP
5-2-2023

Basic Traffic Study

**Red Rocks Pointe
5067 S Eldridge St
Morrison, CO 80465**

Jefferson County, Colorado



2438 Jack Creek Road
Grand Junction, CO 81505
720-224-1095
www.radianengineer.com

July 10, 2023

Introduction

This technical memorandum outlines the traffic analysis for the Red Rocks Pointe, Lot 1 (referred to as "Red Rocks Pointe") property at 5067 S Eldridge St, Morrison, Jefferson County, Colorado. The report's goal is to satisfy the requirement of the Jefferson County Regulations as stated in the Transportation Design and Construction Manual.

The 1.34 acre property is seeking approval for a 10 lot (5 duplex) subdivision. The density of the development is 7.46 lots per acre. Construction will be completed in one phase. This traffic analysis includes traffic approximations existing roads (South Eldridge Street and West Belleview Avenue) and maximum trip generation calculations for traffic movements in and out of the property, recommended daily trips and vehicular access recommendations.

Executive Summary

Due to the small amount of site generated traffic and the single access to the collector road, no additional turn lanes are required for this project on any of the adjacent roads. A stop sign will be placed at the exit of the subject property.

Existing Conditions

The development is located on the south side of S Eldridge St and north of W Belleview Ave, just east of Highway C-470 on the southwestern quadrant of the Denver Metropolitan Area, in unincorporated Jefferson County, Colorado. The site is currently native grassland with no structures in place. See Figure 1 for site location.

C-470 borders the site to the west, but C-470 will not be affected by the site traffic since W Belleview Ave currently has ramps on and off the highway just north of the site. See Figure 2.

West Belleview Ave has a speed limit of 40 miles per hour and is a four lane divided minor arterial road, according to the Jefferson County Major Thoroughfare Plan. The road has a median and dedicated right in and left in turn lanes at S Eldridge St. See Figure 2.

South Eldridge Street is a two lane collector road according to the Jefferson County Major Thoroughfare Plan. The road collects residential traffic from local subdivisions to allow them to access the arterial roads: West Belleview Avenue to the south and West Quincy Avenue to the north. S Eldridge St currently has a curb cut at the proposed site access location. See Figure 2.

Adjacent to the west side of the site is the C-470 Bikeway. This bikeway is a highly utilized pedestrian and biking pathway. Pedestrians can access the bikeway from the sidewalk on W Belleview Ave. There are no plans to add access to this bike path directly from the proposed development. See Figure 2.

Two small local roads collect local residential traffic and bring the traffic to the South Eldridge Street collector, in the area of the subject site. Below is the list of accesses along S Eldridge St and their descriptions, along with Reference numbers for Figure 2.

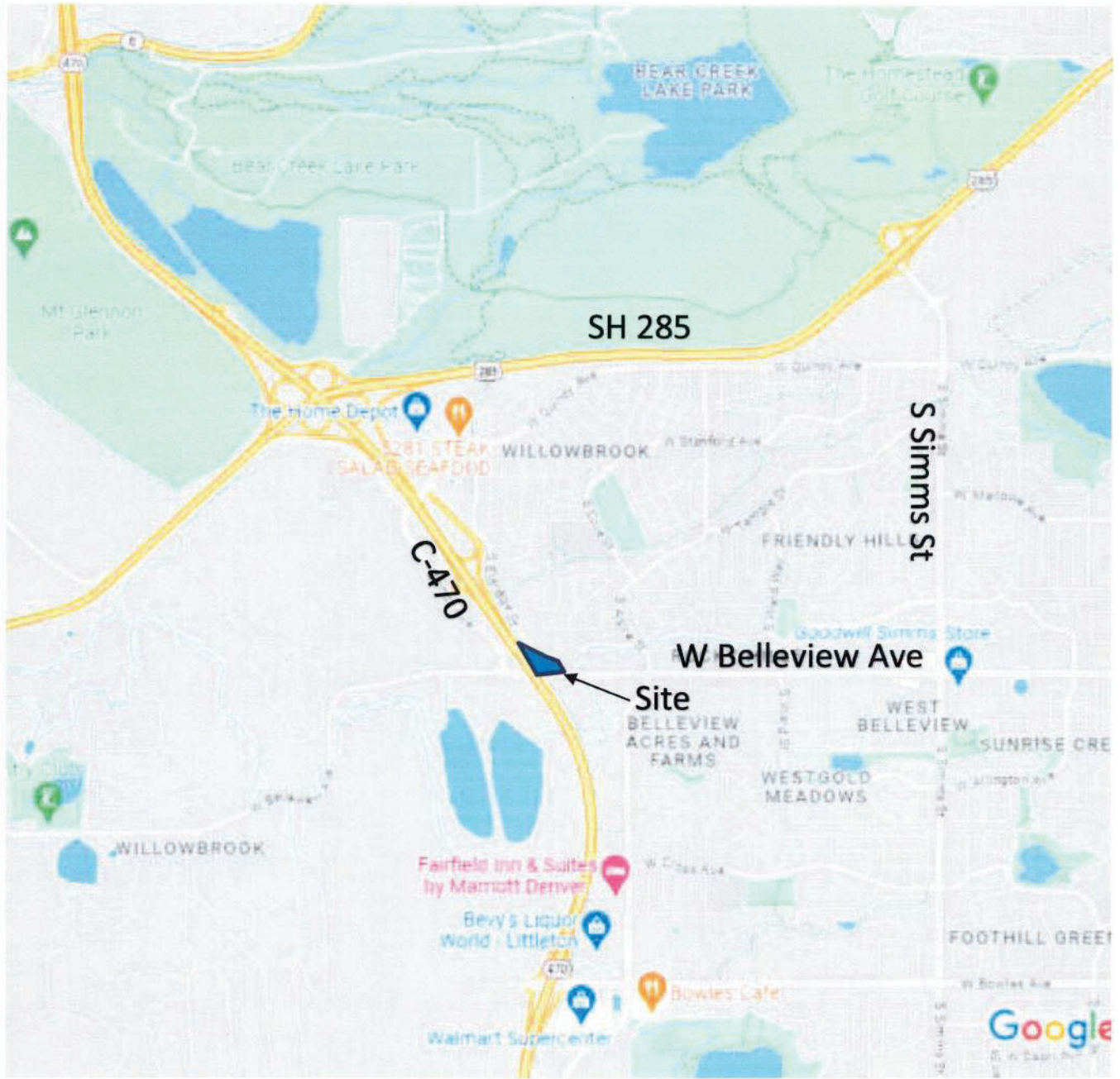
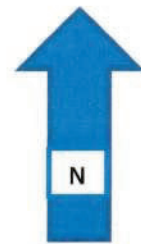


Figure 1: Overall Location Map and Local State Highways (From Google Maps)



See Figure 2 for a recent aerial that shows the existing conditions of the subject site and the adjacent roadway system. Reference numbers **#** correspond to locations below:

1. Subject Parcel
2. C-470
3. C-470 Bikeway
4. W Belleview Ave
5. W Belleview Ave Dedicated Right Turn Lane
6. W Belleview Ave Dedicated Left Turn Lane
7. S Eldridge St
8. W Grand Place (local road with two entrances that feeds 38 homes)
9. S Cole Court (cul-de-sac that feeds 9 single family homes)
10. Existing curb cut for subject site access off of S Eldridge Street

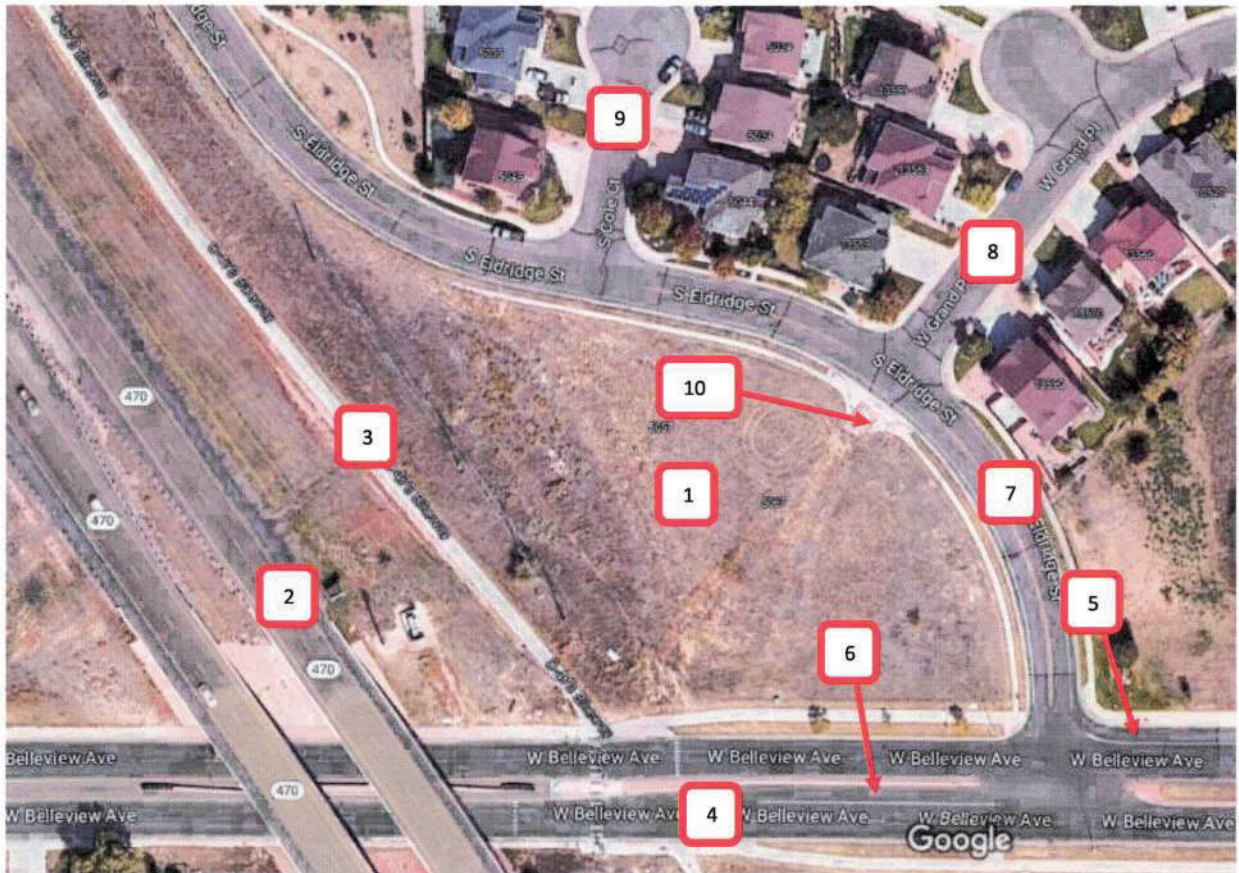
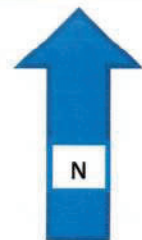


Figure 2: Site Location Aerial Map and Nearest Accesses (From Google Maps)
Reference Numbers Refer to Bullet Points in Text Above



Existing Land Use

Existing Traffic

According to the Jefferson County Transportation Design and Construction Manual (JCTDCM), Typical Average Daily Traffic (ADT) counts are in the following ranges for the adjacent roadways. No traffic counts were performed during this study.

Road Name	Description	Typical Volume (ADT)
W Belleview Ave	Minor Arterial	15,000 – 25,000
S Eldridge Street	Collector w/ detached sidewalk, 37' ROW	1,000 – 8,000
W Grand Place	Local Street (34' FL to FL) with attached sidewalks	Less than 1,000
S Cole Court	Local Street (34' FL to FL) with attached sidewalks	Less than 1,000

No traffic currently moves in or out of the subject parcel, due to the vacant land status of the parcel.

Future Land Uses

Figure 3 shows the proposed site configuration with the site access directly across from the existing road: West Grand Place. The site consists of five duplex units (10 total lots) along with a parking area for visitors to the residences. The site access is located at the same location as the existing road cut on South Eldridge Street. Since the access is private and accessing less than 15 dwelling units, the access will be 20 feet wide, including a 16 foot all-weather surface (JCTDCM).

The shared private roadway will comply with Standard 8 – Driveway and Private Road Approaches onto Roads and other applicable Jefferson County Rules and Regulations.

This property will be strictly residential and will not be used for retail businesses. There will be delivery trucks and other commercial trucks that enter and exit the property. Commercial vehicles, including Class 6 vehicles are the maximum vehicle class that will be able to enter/exit the site, while navigating the internal areas. See Appendix A for Federal Highway Administration (FHWA) classifications. No vehicles larger than Class 6 will be allowed on the site.

Future Traffic Counts

Using the Institute of Transportation Engineers (ITE) Trip Generation, 6th Edition, the closest land use was Residential Condominium/Townhouse, Land Use 230. According to the Average Vehicle Trip count in the ITE, each unit produces an average rate of 5.86 trips per day (ADT). Therefore, with 10 dwelling units, it can be expected that there will be 59 trips per day in and out of the site. This is the ADT for the private road. The ITE breaks down the trips to be an expected 50% in and 50% out of the site. Therefore we can expect 30 trips in and 29 trips out, per day, of the subject parcel.

Looking at the trips generated for the proposed development, it can be reasonably concluded that the trips are significantly less than the existing traffic counts on S Eldridge Street (between 0.7% - 6%) and W Belleview Avenue (between 0.2% and 0.4%).

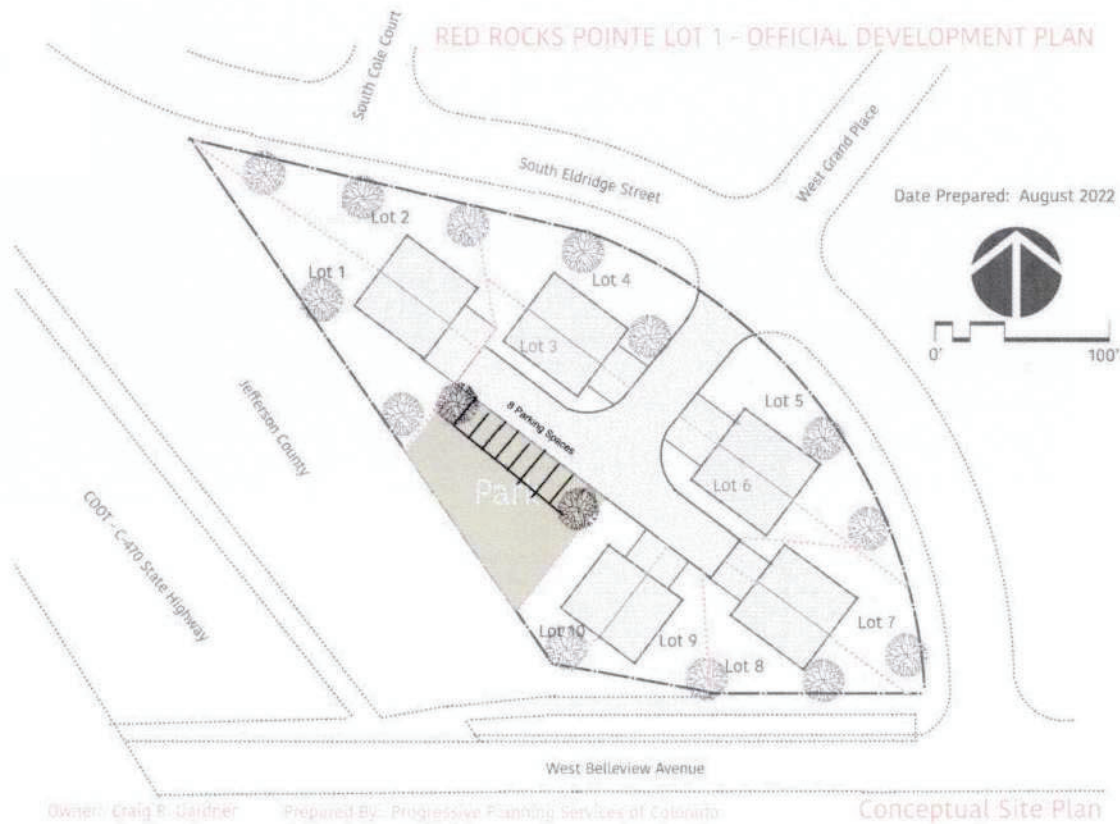


Figure 3: Site Configuration with Site Access (Conceptual Plan)

Furthermore, the local public streets, W Grand Place and S Cole Court have just as many or more single-family residences accessing S Eldridge Street. Single family residences have an ADT of 9.57 trips per unit (ITE Land Use Code 210), which is nearly double the trips for a townhome. With 9 residences on S Cole Court and a broken-down average of 19 homes on W Grand Place, the calculated ADT is much greater for these residential streets than for the proposed private road. No turn lanes were required or installed for either of these local streets.

Therefore, it can be concluded that it is not recommended that the proposed local private street for the subject property have any local street improvements. No turn lanes for the local streets or for the private street are required. One stop sign at the termination of the private street at S Eldridge Street is required.

For pedestrian and bicycle movement, new duplex owners in the subject property can safely access the C-470 bikepath by way of existing sidewalks along S Eldridge St and W Bellview Avenue.

Construction Phasing

Staging and storage areas will be onsite during construction and will not impact and public roads. There will be no temporary access points, only the permanent access point. Construction trucks will be temporary during construction only. It is anticipated that S Eldridge Street will be minorly affected by

construction activities at times when trucks are turning in to the site. No lane closures or traffic interruption is anticipated on S Eldridge Street.

Conclusion

From the report above, it can be assumed that additional traffic on S Eldridge Street and W Belleview Avenue will be negligibly affected by these 10 attached homes, due to the minimal amount of traffic in/out of the site during the peak hour periods and throughout the day.

Required construction items include:

- The addition of a stop sign at the termination of the private drive at S Eldridge Street.




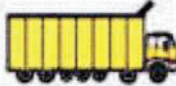































Appendix B shows photos around the site, for reference purposes.

Professional Certification. I hereby certify that this Traffic Report was prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Colorado.

Brynn M Boyd, P.E.
License No. 44855



APPENDIX A – AASHTO VEHICLE CLASSIFICATION

Class 1 Motorcycles		Class 7 Four or more axle, single unit	
Class 2 Passenger cars		Class 8 Four or less axle, single trailer	
			
			
			
Class 3 Four tire, single unit		Class 9 5-Axle tractor semitrailer	
			
			
Class 4 Buses		Class 10 Six or more axle, single trailer	
			
			
Class 5 Two axle, six tire, single unit		Class 11 Five or less axle, multi trailer	
			
			
Class 6 Three axle, single unit		Class 12 Six axle, multi-trailer	
			
			
		Class 13 Seven or more axle, multi-trailer	

https://www.fhwa.dot.gov/policyinformation/tmguidetmg_2013/vehicle-types.cfm

APPENDIX B – SITE PHOTOS



PHOTO 1:

C-470 Bikepath looking north with subject property on right and C-470 on left



PHOTO 2:

Bellevue Ave looking east from the bikepath.

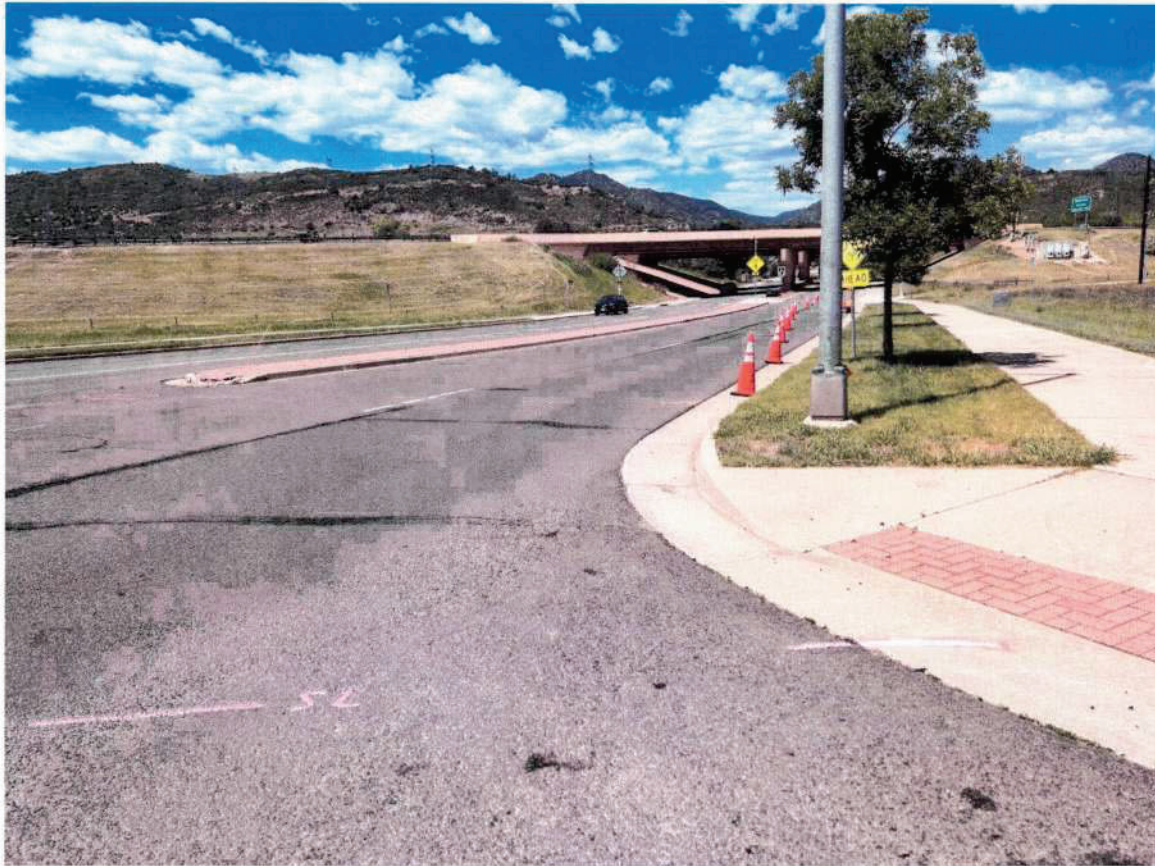


PHOTO 3:

Belleview and Eldridge looking west on Belleview with subject property to the right.



PHOTO 4:

Bellevue and Eldridge looking east on Bellevue with subject property behind. Right turn lane onto Eldridge depicted in photo.



PHOTO 5:

Looking north along Eldridge at Belleview and Eldridge intersection. Subject property on left.



PHOTO 6:

Looking southwest across S Eldridge Street to the curb cut for the subject property. Standing at intersection of Eldridge and Grand.

Visual Analysis

Red Rocks Pointe Townhome Project
Impact to Views of the Dakota Hogback
Jefferson County Colorado



PROPOSED VIEW

PROPOSED PROJECT

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
BETWEEN 5073 S BEECH WAY & WEST BELLVIEW AVENUE - LOOKING WEST

THIS RENDERING IS BASED ON
CURRENT INFORMATION AS OF
THIS DATE PROVIDED BY
PROGRESSIVE PLANNING
SERVICES OF COLORADO AND
IS SUBJECT TO CHANGE.

2
KOP#

Visual Environments
www.visualenv.com
1/12/23

Prepared By:

Progressive Planning Services of Colorado
Richard L. Miller, AICP

Photo Simulations By:

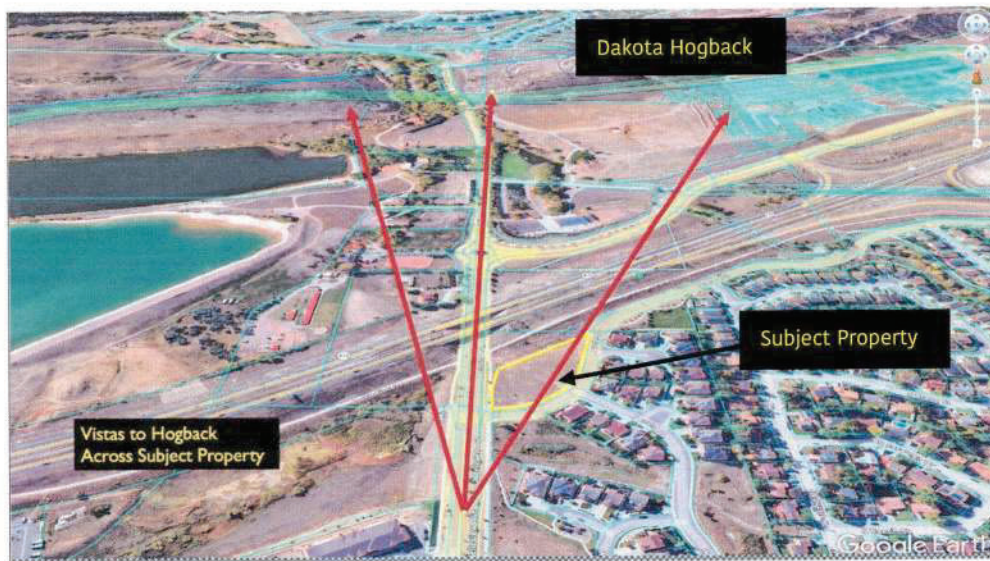
Visual Environments
Mark Button

Date Prepared:

January, 2023

Purpose of Visual Analysis

This visual analysis is being prepared and submitted as part of the rezoning application for the proposed Red Rocks Pointe Townhome development in Jefferson County Colorado. Long Range Planning requested that a visual analysis be performed to show potential impacts the proposed structures will have to views of the Dakota Hogback geologic feature, located on the western side of C-470 Highway. Site photography and photo simulations have been included to provide a realistic three-dimensional view of the proposed townhome community. Different views of the site have been provided, with the proposed project being superimposed into each view.



Summary of Proposed Project

Red Rocks Pointe is a proposed ten-unit townhome community located at the northwest corner of West Belleview Avenue and South Eldridge Street. The architecture proposed for the units will be visually compatible with the existing homes in the surrounding area (see architect's elevation below). The Written Restrictions for the Official Development plan specify a maximum building height of forty-five (45) feet. This building height is reflected in the photo simulations supplied with this analysis.



Architect's Proposed Elevation of Typical Unit

Photos of Subject Property & Surrounding Community



View of subject property looking west



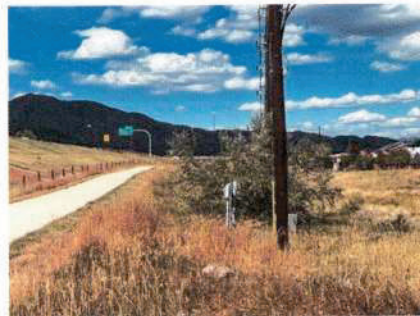
View from subject property to surrounding community



View from subject property looking southeast



View of subject property looking toward C-470 Highway



View of Jefferson County Open Space parcel to the west of the subject property

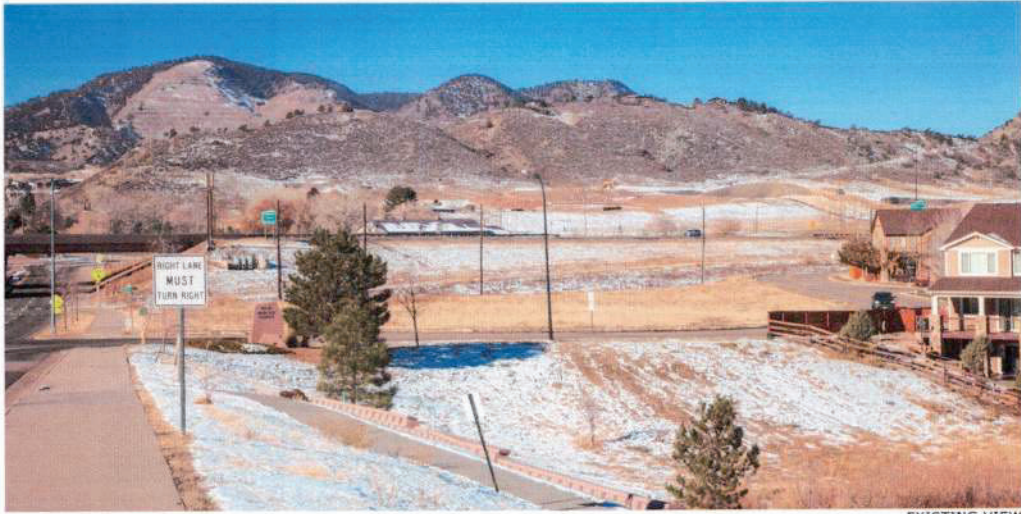
Photo-Simulations



RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
VISUAL RENDERING - KEY OBSERVATION POINT KEY MAP

© Visual Environment
ARCHITECTURE
1/12/23

Aerial View of Proposed Red Rocks Pointe Townhome Community



EXISTING VIEW

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 WEST BELLVIEW AVENUE - LOOKING NORTHWEST



View to the northwest



PROPOSED VIEW

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 WEST BELLVIEW AVENUE - LOOKING NORTHWEST



View to the northwest with Photo Sim # 1

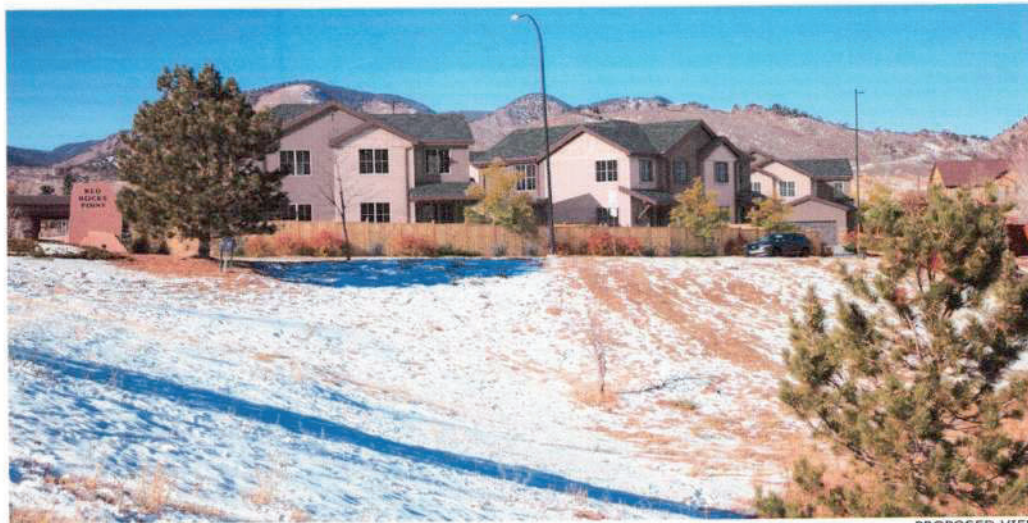


EXISTING VIEW

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 BETWEEN 5073 S BEECH WAY & WEST BELLVIEW AVENUE - LOOKING WEST

2 Stuart Johnson
PHOTOGRAPHY
 1/12/23
KOP#

View to the west



PROPOSED VIEW

PROPOSED PROJECT
RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 BETWEEN 5073 S BEECH WAY & WEST BELLVIEW AVENUE - LOOKING WEST

THIS RENDERING IS BASED ON
 CURRENT INFORMATION AS OF
 THE DATE PROVIDED BY
 PROJECT OWNER PLANNING
 SERVICES OF COLORADO AND
 IS SUBJECT TO CHANGE

2 Stuart Johnson
PHOTOGRAPHY
 1/12/23
KOP#

View to the west with Photo Sim # 2



EXISTING PANORAMIC VIEW

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 SOUTH ELDRIGE STREET & WEST BELLVIEW AVENUE - LOOKING NORTHWEST



View of subject property looking northwest



PROPOSED PANORAMIC VIEW

RED ROCKS POINTE MULTIFAMILY RESIDENTIAL PROJECT
 SOUTH ELDRIGE STREET & WEST BELLVIEW AVENUE - LOOKING NORTHWEST

THIS RENDERING IS BASED ON CURRENT INFORMATION AS OF THIS DATE PROVIDED BY PROVIDER. KOP# IS A SERVICE OF KOP# AND IS SUBJECT TO CHANGE.

View of the subject property looking northwest with Photo Sim # 3

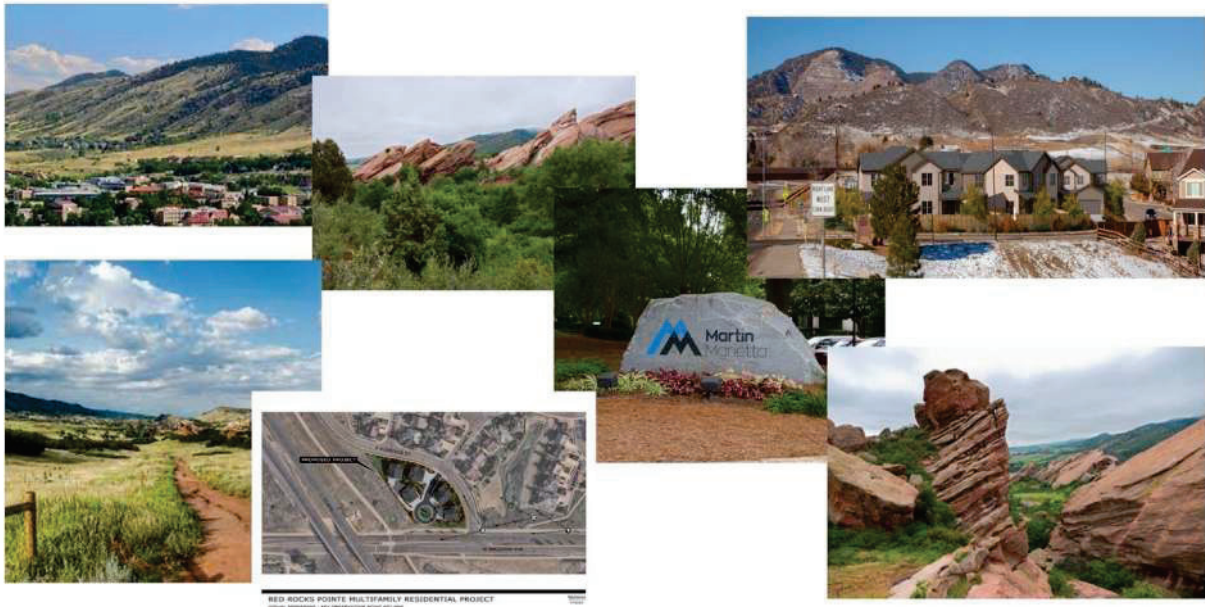
Conclusion & Findings

Based upon the proposed height of the structures, elevation of the subject property, and vantage points reviewed in this analysis, the proposed Red Rocks Pointe Townhome Community will not significantly impact the views to the Dakota Hogback.

Respectfully submitted,



Richard L. Miller, AICP
Progressive Planning Services of Colorado



Market Analysis for a Ten-Unit Townhome Community South Jefferson County, Colorado

Case Number: 23-116550

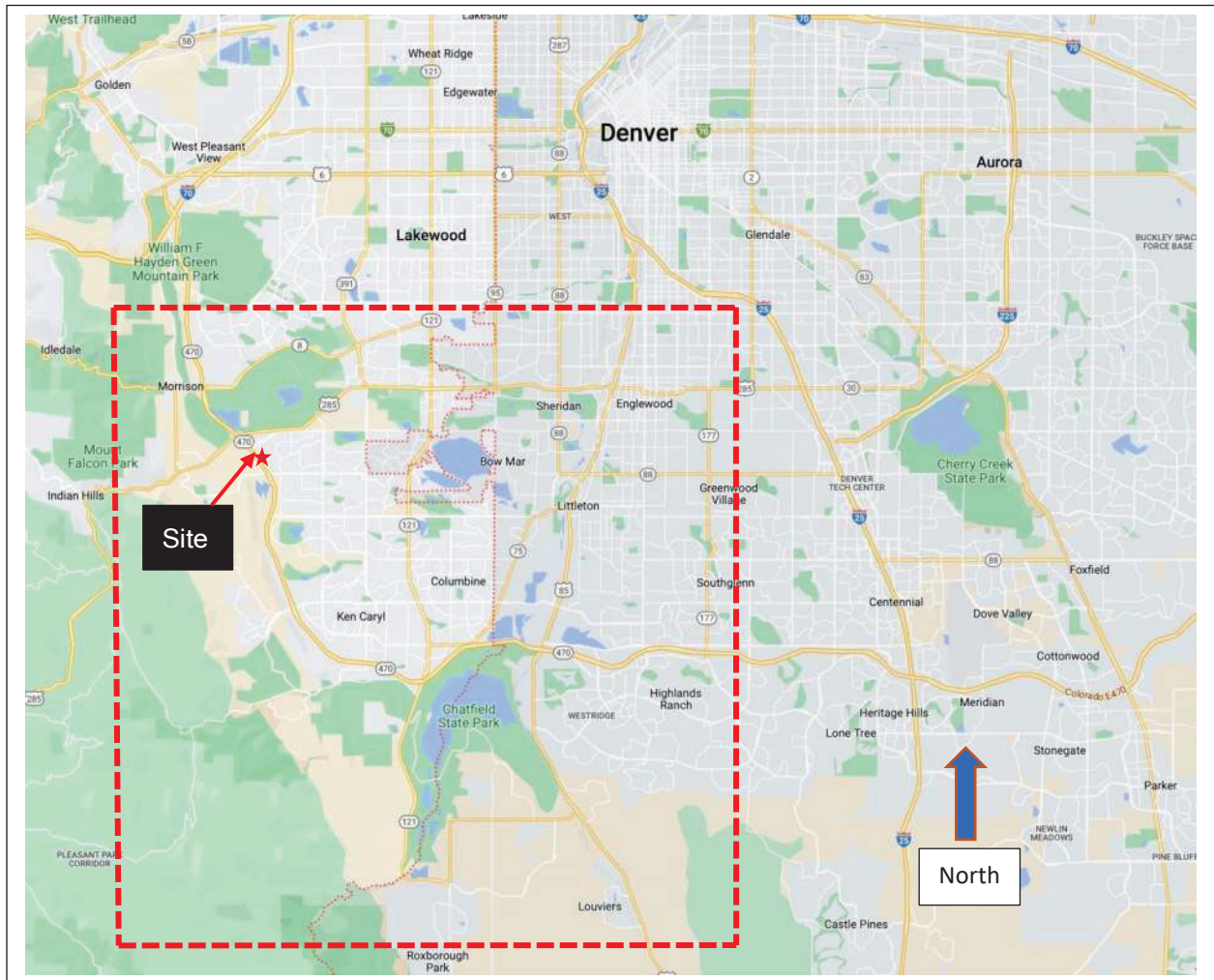
Planned Unit Development Rezoning Request
for a
Townhome Community
5067 South Eldridge Street

Dated Prepared: August, 2023

Prepared By: Progressive Planning Services of Colorado

Introduction:

This market analysis aims to provide an overview of the potential market for a townhome project located in South Jefferson County, Colorado. South Jefferson County is a highly sought-after residential area known for its scenic beauty, quality schools, and proximity to outdoor recreational activities. This analysis will consider factors such as the local housing market, demographic trends, competition, and economic indicators to assess the viability and potential demand for townhomes in this area.



South Jefferson County, Colorado - Market Analysis Area

Local Housing Market:

The housing market in South Jefferson County has experienced steady growth in recent years. The demand for housing, especially in the townhome segment, has been driven by several factors including low maintenance, location, and convenience. Townhomes offer an attractive alternative to single-family homes, particularly for young professionals, empty nesters, and first-time homebuyers. While there are several single-family home developments in the area, the competition in the townhome segment is relatively limited. Existing townhome developments in South Jefferson County are often older and may not meet the demands of modern buyers in terms of design, amenities, and energy efficiency. This proposed townhome community presents an opportunity to capture a significant market share by offering updated and well-designed townhomes. South Jefferson County has seen steady growth in recent years, and this trend is expected to continue in the foreseeable future. The area's proximity to Denver and its desirable natural surroundings makes it an attractive location for both businesses and residents. The population is projected to increase steadily, driven by factors such as job opportunities, quality schools, and the overall high quality of life in the area. This growth presents opportunities for a variety of residential housing types and businesses to cater to the expanding market.

Demographic Trends:

South Jefferson County has a diverse population with a mix of age groups. The area attracts families, professionals, and retirees due to its high-quality schools, employment opportunities, and recreational amenities. The millennial population is growing rapidly in the area, seeking alternative housing options that offer proximity to urban centers and outdoor activities. This demographic shift presents an opportunity for townhome developments that cater to the needs of this segment. According to the United States Census Bureau, the median household income (in 2021 dollars), in South Jefferson County, is \$93,933, which is significantly higher than the national average, indicating a relatively affluent population. The area's economic base, which includes industries such

as healthcare and professional services, contributes to the higher income levels. This indicates a relatively affluent market with higher purchasing power. The area benefits from a mix of industries, including healthcare, education, professional services, and outdoor recreation. Major employers in the region include hospitals, schools, colleges and universities, as well as various businesses catering to the tourism and outdoor activities sector. Overall, the economic base of South Jefferson County is diverse and strong, with a positive growth outlook.

The education level of residents is also high, with 47.9% of the population (ages 25 years and up), for the years 2017 to 2021, having a bachelor's degree or higher, indicating a highly educated workforce. This demographic characteristic aligns with the demand for quality schools and the presence of educational institutions in the area.

Conclusion:

This market analysis suggests that a townhome community in South Jefferson County, Colorado, holds significant potential for success. The area's strong housing market, favorable demographic trends, limited competition, and robust economic indicators make it an attractive location for a townhome community. By understanding and addressing the needs and preferences of the target market, this proposed townhome community can capitalize on the growing demand for townhomes in this desirable area.

see
WHAT
COULD
BE



RED ROCK DUPLEX

CONCEPT ELEVATION

2022.05.24




Red Rocks Pointe Townhome Community - Open Space/Trail Plan



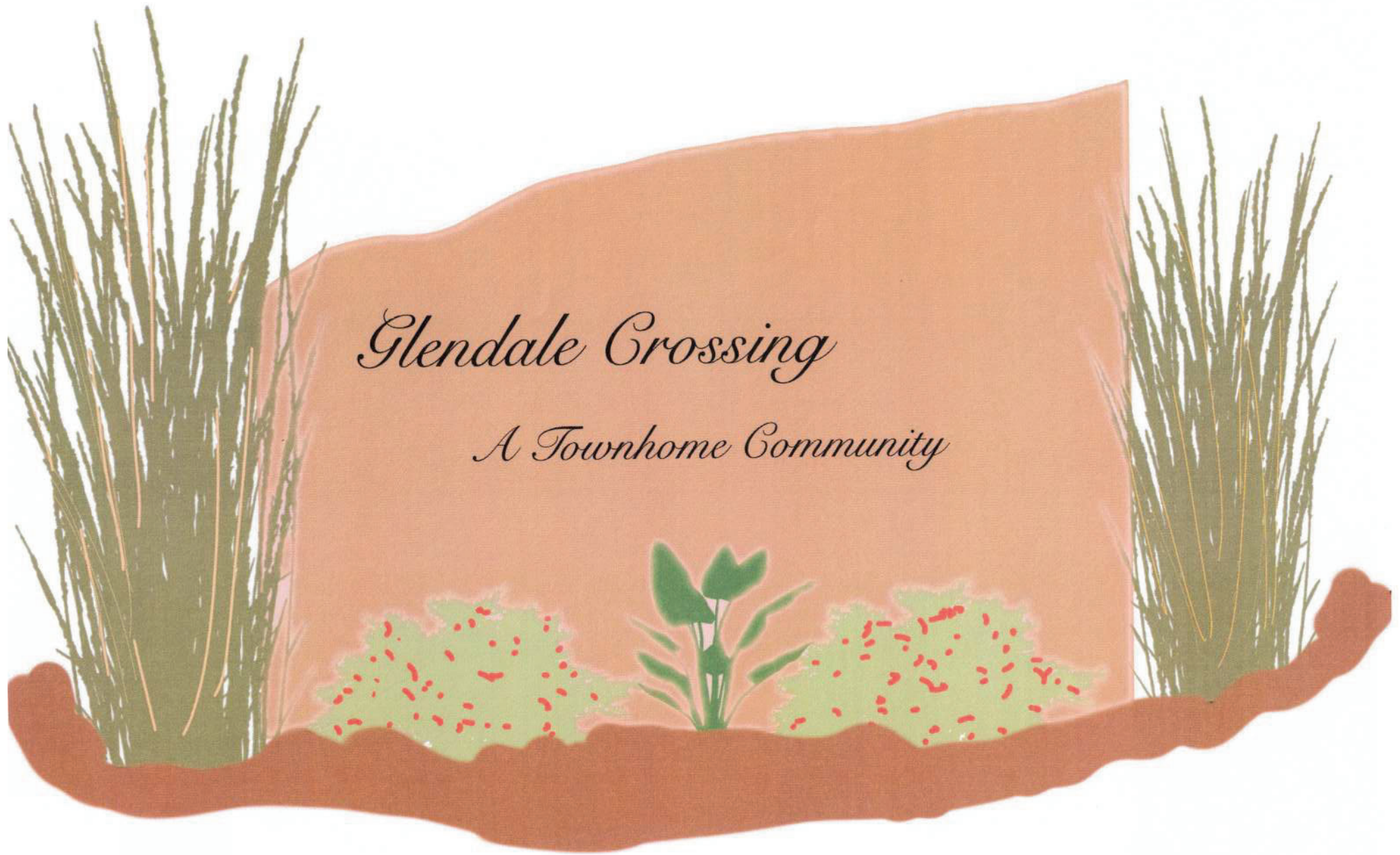
NORTH



Legend

-  Exercise Station
-  Crushed Granite Trail
-  Connection to C-470 Bikeway

Hogback Information Sign



Project Identification Sign - Landscaped Bed