CASE SUMMARY

CASE SUMMARY

Regular Agenda

PC Hearing Date:	January 11, 2023
BCC Hearing Date:	January 31, 2023

21-136270PF	Preliminary and Final Plat
Case Name:	Ken Caryl Ranch North Plains Filing 2
Owner/Applicant:	NADG Ken-Caryl Ranch LP, a Delaware limited Partnership
Location:	AIN/PIN: 59-321-00-007 Section 32, Township 5 South, Range 69 West
Approximate Area:	28.041 Acres
Purpose:	**To subdivide the property into 199 lots for single-family attached units and tracts for access, communal amenity, common area and park land.**
Case Manager:	Nathan Seymour

Applicant Team Presenters:

Dennis Carruth dennis@carruthproperties.com
Dave Abers dabers@nadg.com
Travis Frazier tfrazier@redland.com
Susan Wade swade@redland.com
Rob Oglesby roglesby@redland.com
Brice Bradley bbradley@redland.com
Steve Tuttle steve.tuttle@foxtuttle.com
Pat Garland Pat.Garland@wsp.com

Issues:

- Staff received a challenge to the Directors decision on the Minor Variation Request to allow a reduction in covered parking.

Alternative Standard Requests (Approved):

- To allow an intersection spacing distance of 131, 132 and 150 feet where the minimum spacing of 175 feet is required.
- To allow a driveway spacing distance of 4 feet between driveways.
- To allow the following per the Land Development Regulation Section 26.A.4:
  - A maximum dBA (L0) of 88.2 dBA from 7AM to 7PM where 65 dBA is required.
  - A maximum dBA (L0) of 69.2 dBA from 7PM to 7AM where 50 dBA is required.
  - Periodic/Impulsive dBA of 100.2 dBA from 7AM to 7PM where 50 dBA is required.
  - Periodic/Impulsive dBA of 78.4 dBA from 7PM to 7AM where 45 dBA is required.
  - An L25 of 78.3 dBA from 7AM to 7PM where 55 dBA is required.

Minor Variation Request (Approved):

- To allow reduced parking requirements to allow 357 square feet of covered parking where 400 square feet is required for 27 townhome units with a single car garage.

Related Deeds:

- Commissioners' Deed CD22-132642DE will convey the park sites, Tracts U and V, Ken Caryl Ranch North Plains Filing 2 from Jefferson County to the Ken-Caryl Ranch Metro District. Recordation of this deed is listed as a condition of approval for this Plat.

Recommendations:
- **Staff:** Recommends APPROVAL subject to conditions
- **Planning Commission:** Recommends APPROVAL subject to conditions

Interested Parties:
- Ken-Caryl Ranch Master Association and Architectural Control Committee
- KCR Coalition
- Interested Citizens

Level of Community Interest: Medium

Representative for Applicant: Dennis Carruth

General Location: Southwest of the intersection of W. Chatfield Ave and W. Ken Caryl Ave

Case Manager Information: Phone: 303-271-8751 e-mail: nseymour@jeffco.us

PC RESOLUTION

It was moved by Commissioner **Spencer** that the following Resolution be adopted:

BEFORE THE PLANNING COMMISSION
COUNTY OF JEFFERSON
STATE OF COLORADO

January 11, 2022

RESOLUTION

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Case Manager:	Nathan Seymour

The Jefferson County Planning Commission hereby recommends **APPROVAL WITH CONDITIONS**, of the above application on the basis of the following facts:

1. That the factors upon which this decision is based include evidence and testimony and staff findings presented in this case.

2. The Planning Commission finds that:
   A. The proposal conforms to the Land Development Regulation because all applicable regulations have been satisfied, or will be satisfied, prior to recordation of the Preliminary and Final Plat, as indicated within the staff report.

3. The following are a conditions of approval:
   A. Submittal of a title insurance commitment update with an effective date less than 45 days prior to the recording of the Plat which depicts no new owners or encumbrances. Said title insurance commitment shall be approved by the County Attorney's Office.
   B. The Improvements Agreement being approved as to form by the County Attorney's Office.

C. The recordation of the Plat mylars being prepared in accordance with the red-marked print dated January 11, 2023.
D. Recordation and approval of Commissioners' Deed CD22-132642DE by the Board of County Commissioners.
E. Recordation of the subsurface groundwater collections system underdrain maintenance plan.
F. Recordation of a separate noise disclosure document regarding proximity to Ken-Caryl Avenue.
G. Recordation of an access and utility easement to the benefit of the created lots and the future lot owners.
H. Final approval of the water and sewer plans by the Ken Caryl Ranch Water and Sanitation District and recordation of the water and sewer easements.
I. Submittal of a current tax certificate from the County Treasurer's Office indicating that all ad valorem taxes applicable to Ken Caryl Ranch North Plains Filing 2 for prior years have been paid.
J. Resolution of Planning Engineering's comments dated December 6, 2022.
K. Payment of $152,600 for fees-in-lieu of school land dedication prior to plat recordation or payment of the fees-in-lieu of school land dedication as set forth in the Improvements Agreement prior to building permit, as applicable. This fee should be submitted on a separate check made payable to Jefferson County Treasurer.

Commissioner **Duncan** seconded the adoption of the foregoing Resolution, and upon a vote of the Planning Commission as follows:

Commissioner	**Rogers**	**aye**
Commissioner	**Spencer**	**aye**
Commissioner	**Becker**	**aye**
Commissioner	**Duncan**	**aye**
Commissioner	**Lemmer**	**aye**
Commissioner	**Meyer**	**aye**
Commissioner	**Owens**	**nay**

The Resolution was adopted by **majority** vote of the Planning Commission of the County of Jefferson, State of Colorado.

I, Kimi Schillinger, Executive Secretary for the Jefferson County Planning Commission, do hereby certify that the foregoing is a true copy of a Resolution duly adopted by the Jefferson County Planning Commission at a regular hearing held in Jefferson County, Colorado, January 11, 2023.

_____
Kimi Schillinger
Executive Secretary

STAFF REPORT

Staff Report

PC Hearing Date:	January 11, 2023
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Approximate Area:	28.041 Acres
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Case Manager:	Nathan Seymour

Representative:	Dennis Carruth
Zoning:	The Ken-Caryl Ranch Official Development Plan, recorded at Reception Number 73554186, as amended in the Ken-Caryl Ranch North "Plains" Segment Amended Official Development Plan, recorded at Reception Number 79062009

BACKGROUND/UNIQUE INFORMATION:

The proposed Plat is a subdivision of a metes and bounds parcel located southwest of the intersection of Chatfield Avenue and West Ken Caryl Avenue. The development is located in a portion of Section 32, Township 5 South, Range 69 West. The applicant is proposing to subdivide the property into 199 lots for single-family attached units and several tracts for access, drainage, common area and park land purposes. The total property area is 28.041 acres. The development is in a suburban area with residential developments to the north, east and south and commercial developments to the north and west.

There are two proposed access points to this subdivision. Access to the property is from West Ken Caryl Avenue to the north and West Chatfield Avenue to the east. Interior to the development, the applicant will construct both local public and private streets.

The zoning requirements of the Ken-Caryl Ranch Official Development Plan, recorded at Reception Number 73554186, and as amended in The Ken-Caryl Ranch North "Plains" Segment Amended Official Development Plan, recorded at Reception Number 79062009 ("ODP") as well as the Jefferson County Land Development Regulation are applicable to this development.

This development is characterized by moderate slopes and vegetation which consists primarily of native grasses. The site historically drains to the north-east and south-east. Water supply and sanitary sewer will be provided by the Ken Caryl Ranch Water and Sanitation District. There are public improvements

required for this development. The applicant is required to provide storm water detention with water quality, storm sewer, and public and private streets. Maintenance of the proposed private streets, stormwater structures and landscaping tracts will be the responsibility of the Hogback Metropolitan District. The parkland areas which include the required communal amenities and common usable areas consist of a plaza, tables, playground, restroom with shelter, pickleball courts, trails, and park area with benches, tables, and outdoor fitness equipment. The Ken-Caryl Ranch Metropolitan District will maintain the exterior tracts to include the proposed parkland (Tracts U and V).

NOTIFICATION:

Notification of the proposed development was sent and posted in accordance with the Land Development Regulation. Please see the attached Notification Summary for more information.

During the processing of the application, Staff received questions and concerns from a number of citizens. The concerns relate to Circulation and Access, impacts to existing infrastructure (retaining walls, trails, water service), Traffic, Fire Safety, construction in dipping bedrock and swelling soils, and impacts to wildlife. A summary is provided below, and please see the Staff Packet for a comprehensive list of all comments received during the review of this development. Please note that the KCR Coalition Comments Responses included comments regarding both the Ken Caryl Ranch North Plain Filing 1 (approved by the Board of County Commissioners on August 9, 2022) and the current Filing 2.

- Regarding circulation and access, the citizen concerns raised are: (1) that the reduced intersection and driveway spacing wouldn't allow for larger vehicles to properly maneuver through the site, including West Metro Fire Protection District vehicles; and (2) that the proposed right in right out turn movement from the east side of the development along West Chatfield Avenue does not conform to County regulations.
    - The public and private streets identified on the Plat were designed to meet both Jefferson County and West Metro Fire Protection District standards.
    - County Staff and the applicant's engineering team have reviewed the intersection of concern on the east side of the development to ensure that it is in compliance with Jefferson County regulations.

- Regarding impacts to existing trails and retaining walls, the citizen's concern is that activity on site may impact the integrity of the existing facilities and that revegetation may be needed due to increased construction activity. An adjoining property owner provided comments about poor water pressure and is concerned with the additional impact from this subdivision on such water pressure.
    - The applicant team has agreed that the site will be monitored closely during construction although no negative impacts to existing facilities are expected, if any impacts do result, they will be properly mitigated by the contractor. There are no negative impacts anticipated and the construction plans were prepared in accordance with County Regulations.
    - The applicant has agreed to meet with the citizens to address an acceptable solution for the removal of revegetation and revegetation of the area.
    - The water system servicing the proposed subdivision is independent from the water system serving the adjacent property.

- Regarding Fire Safety, the citizen concerns centered around the 2022 Marshall Fire and whether firewise guidelines would be adhered to. With this development, the applicant has worked with the West Metro Fire Protection District to assure adequate access to the development. The applicant has also incorporated firewise plant materials into the common areas for this development. In addition, all residential structures will be required to meet current Building Code requirements at the time of construction.

- Regarding Construction in Dipping Bedrock and Swelling Soils, the concerns centered on the potential for differential settlement and making sure that the construction requirements would be adequately adhered to. Staff responded that the applicant will be required to follow over-excavation plans, which requires excavating down 12 feet below the lowest floor, moisture conditioning the soil and placing the moisture conditioned soil back in lifts. The placements and compaction of this material is observed for compliance by the applicant's contractor and geotechnical engineer and the County inspector.

- Regarding Wildlife, the concerns were centered on any impacts the development might have on the wildlife endangered plant or animal species or wetlands. Staff responded that with the Preliminary and Final Plat, the developer prepared both a Plat and Wetland Assessment and a Wildlife Habit Assessment. These Reports were reviewed by both the Colorado Parks and Wildlife and the US Fish and Wildlife Service. The US Fish and Wildlife Service responded that the Service has no concerns with this project resulting in impacts to species listed as candidate, proposed, threatened, or endangered.

ANALYSIS:

	1. Lot and Tract Standards	**2. Circulation**	**3. Water Supply/ Wastewater/Utilities**	**4. Fire Protection**	**5. Drainage**	**6. Geologic and Geotechnical**	**7. Sensory Impacts**	**8. Wildlife/Vegetation/ Landscaping**	**9. Historical/Archeological/ Paleontological**
Acceptable	X	X	X	X	X	X	X	X	X
Unacceptable									

Services: West Metro Fire Protection District
Ken Caryl Ranch Water and Sanitation District
Lumen
Public Service Company
Comcast Cable
Ken Caryl Ranch Metro District
Hogback Metro District

SUMMARY OF COMPLIANCE WITH THE LAND DEVELOPMENT REGULATION:

1. **<u>Lot and Tract Standards</u>:**

The proposed configuration of the 199 lots is in compliance with Section 14 (Lot and Tract Standards) of the Jefferson County Land Development Regulation.

Tracts A, E-H, J-S, W and X are for common area, drainage, landscape, public access, sidewalk, trail and utility purposes.

Tract T is for Clubhouse and Community Center.

Tracts U and V are for landscape, trail, sidewalk, common area, drainage, utility and park purposes and are dedicated to Jefferson County by this plat for park purposes. Tracts U and V will be subsequently conveyed from Jefferson County to the Ken-Caryl Ranch Metropolitan District by deed. Recordation of this deed is listed as a condition of approval of this Plat.

Tracts Y and Z are dedicated by the Plat to Jefferson County for Right-of-Way purposes.

During the processing of this case, the Director of Planning Zoning granted the following Minor Variation Requests (21-138542MVR) in an Administrative Decision Memorandum dated November 21, 2022, as amended in Administrative Decision Memorandum dated January 20, 2023 based on applicants modified request:

To allow 357 square feet of covered parking for each of the 27 townhome units, with a single car garage, compared to the 400 square feet of covered parking per townhome unit, pursuant to the ODP.

Section 1.I.1 of the Jefferson County Zoning Resolution (ZR) allows the Director of Planning and Zoning to grant Minor Variations to facilitate the reasonable and expeditious processing of a development application.

A Minor Variation may be granted for both onsite and offsite requirements for Plats. Such variations shall be allowed only after a finding that:
a. Such variation(s) does not constitute a substantial change to the permitted land use(s), and that
b. No substantial detriment to the public good, nor harm to the general purpose and intent of this Zoning Resolution will be caused thereby.

Staff found that the Minor Variation requested does not constitute a substantial change to the permitted land uses(s) and will not cause substantial detriment to the public good, nor harm to the general purpose and intent of the Zoning Resolution because:

1. The applicant proposes to meet the number of parking spaces required and is only requesting to reduce the area of 27 covered parking spaces.
2. The surrounding area should not be negatively affected by reducing the amount of covered parking.
3. There were no objections to this request from referral agencies.

Accordingly, staff recommended approval of the Minor Variation Request (MVR), with no conditions. The MVR was granted by the Director of Planning and Zoning in Administrative Decision Memorandum dated November 21, 2022, and amended January 20, 2023 based on applicant's modified request

On January 10, 2023 Staff received a challenge letter to the MVR from Ken- Caryl Ranch Master Association (KCRMA). KCRMA generally argues that the approval of the MVR is not justified according to Jefferson County's rules. KCRMA argues that "any variance approval must be in the best interest of the public [and] [a]pproval of the parking variance for residences built in Parcel B will impose a lower quantifiable quality of life for residents."

KCRMA argues that "Section VI of the Ken-Caryl Ranch ODP states that 'Prior to submission to the Board of Adjustment of any matter governed or meant to be governed with Ken-Caryl Ranch Planned Development district, such matters shall be first reviewed and approved by the Architectural Committee.'" Additionally, KCRMA argues that under Article VIII of Ken-Caryl Ranch Master Declaration, "prior to the construction of any Improvement on Ken-Caryl Ranch, the Plans and Specification thereof shall be submitted to the Architectural Committee" for its approval prior to construction. KCRMA argues that moving forward with this minor variation prior to obtaining the approval of the Ken Caryl Ranch Architectural Committee is a violation of procedure.

KCRMA's challenge does not address the two findings under Section 1.I.1 of the ZR to be made for the Director to grant the requested minor variation (which KCRMA alleges is a "variance"). As discussed, staff recommended approval of the request because it does not change the permitted land use or detrimentally impact the public good or cause harm to the general intent of the Zoning Resolution if granted. The ODP allows for residential dwelling units including townhomes on the subject property. Granting the MVR does not change this land use allowance, it modifies a parking requirement to allow a 357 sf rather than 400 sf garage to be built for 27 townhome units. The MVR does not modify the total number of required parking spaces or reduce the square footage of covered parking required for the remaining 172 residential units proposed.

Because the required number of parking spaces are still provided at a slightly smaller size for 15% of the proposed dwelling units, the requested minor variation does not detrimentally impact the public or the general intent of the Zoning Resolution, which is to establish "land use regulations, procedures

and restrictions for the promotion of the health, safety and welfare of the present and future inhabitants of Jefferson County"

KCRMA's remaining arguments concern private covenants, which the County does not enforce. It is well settled that zoning regulations and private covenants operate independently of one another. In a letter dated 2004 from the Jefferson County Zoning Administrator to KCRMA (letter provided in hearing packet) the Zoning Administrator addressed whether a provision in the ODP claiming to give the KCRMA the power to veto a sign that may otherwise comply with the Jefferson County Zoning Resolution is enforceable. The Zoning Administrator concluded that the ODP provision at issue "(and any other similar provision that requires approval of the KCRMA) is not enforceable, as it is an unlawful delegation of the County Zoning Powers." Section VI of the ODP would be one of those "other similar provisions that requires approval of the KCRMA" and the County's position is the same. For sake of argument, even if private covenants and zoning regulations operated in tandem, because consideration of the granted Minor Variation goes to the Board of County Commissioners and not the Board of Adjustment here, Section VI of the ODP would not apply. (*See* Section 1.I.2 of the ZR providing that "[s]uch variation(s) shall not constitute grounds for disapproval by the Board of County Commissioners of any Plat unless the Board specifically disagrees with the Director's findings.").

For those reasons and because the Planning Commission agreed with the Director's findings granting Minor Variation Requests (21-138542MVR), Staff does not recommend the Board disagree with such findings.

2. <u>Circulation</u>:

There are two proposed access points to this subdivision. Access to the property is from West Ken Caryl Avenue to the north and West Chatfield Avenue to the east. Interior to the development, the applicant will construct both local public and private streets interior to the subdivision.

As a part of this development, intersection improvements are required at the entrances to the site as well as at the intersection of West Ken Caryl Avenue and West Chatfield Avenue. Minor comments remain per engineering comments dated December 6, 2022. Resolution of these comments will be listed as a condition of Plat recordation.

During the processing of this case**,** the Director of Planning Zoning granted the following Alternative Standard Requests (21-37134ASR):

- To allow an intersection spacing distance of 131, 132 and 150 feet where the minimum spacing of 175 feet is required.

  Staff supported the request for reduced intersection spacing because the reduction is not expected to generate any negative traffic impacts due to relatively low levels of traffic.

- To allow a driveway spacing distance of 4 feet between driveways (for a maximum of 17 locations) where 10 feet is required.

  Staff supported the request for reduced driveway spacing as it would also allow owners to maximize the usable area in the front yards and is not expected to have a negative impact to the neighborhood.

Trail connections have been provided interior to the development to provide access to the proposed park area and to preserve the existing east-west trail system in place today.

The circulation for this development is in conformance with the requirements of Section 15 (Circulation) of the Land Development Regulation and the Transportation Design and Construction Manual.

3. **Water Supply, Wastewater and Utilities:**

The Ken Caryl Ranch Water and Sanitation District will provide water and sewer services for the subdivision.

Final approval of the Water and Sewer Plans and the recordation of the water and sewer easements is listed as a condition of approval for this development.

Utilities are available for Ken Caryl Ranch North Plains Filing 2. XCEL will provide electricity. Lumen will provide telephone service.

The water, sanitation and utilities for this site are in conformance with Section 21 (Water Supply), 22 (Wastewater) and 23 (Utilities) of the Land Development Regulation.

4. **Fire Protection:**

The West Metro Fire Protection District has deemed the proposal to be acceptable and will provide fire protection for the subject property. Fire protection for the site is in conformance with Section 24 (Fire Protection) of the Land Development Regulation.

5. **Drainage:**

The submitted Drainage Report is acceptable per the engineering comments dated December 6, 2022.

With this development, the applicant is proposing detention and water quality improvements within Tract D located at the northeast corner of the site.

The drainage for the development is in conformance with Section 18 (Drainage) of the Land Development Regulation and the Storm Drainage Design and Technical Criteria.

6. **Geologic and Geotechnical:**

This property is underlain by dipping bedrock, therefore, to address the possibility of expansive soils, an Expansive Soils Plat Restriction has been added to the Plat to ensure that geotechnical issues are properly addressed at the time of building permit.

To address the potential for shallow groundwater, a subsurface groundwater collections system underdrain maintenance plan has been prepared for this development. Recordation of this plan is listed as condition of approval of this Plat.

Geology and geologic hazards associated with the proposed development comply with Section 25 (Geologic and Geotechnical) of the Land Development Regulation.

7. **Sensory Impacts:**

The Noise Impact Assessment for this development was prepared and signed by LT Environmental, Inc. (LTE), a member of WSP USA Inc. (WSP).

This development was identified by the Sensory Impact Assessment/Study as an area that will experience elevated noise levels which exceed the County standards as outlined in Section 26 of the Land Development Regulation. As stated, noise projected from existing roadways and uses onto proposed park, school or residential development shall not exceed levels shown on the dBA Table. In this case, noise levels do exceed those shown on the table due to noise generated by traffic along West Ken Caryl Avenue.

With this analysis, the County requested that the applicant also provide a comparison of these decibel levels to the DNL. The DNL (also known as LDN) is the Day-Night Noise Level used by HUD (Housing and Urban Development) to evaluate site suitability. Per HUD standards any new construction project that is located in unacceptable noise zones, defined in 24 CFR 51.104 as having the day-night average sound level greater than 65 dBA but less than 70 dBA, can be developable as long as a minimum of 5 dBA additional sound attenuation is performed. If the day-night average goes up to 75 dBA then there needs to be a minimum of 10 dBA of additional sound attenuation. In addition, the interior residential noise levels must remain below 45 dBA. The results for this site showed a maximum DNL of 70.64dBA and 67.92dBA within the development.

During the processing of this case, the Director of Planning and Zoning granted the following Alternative Standard Request to allow (22-110213ASR):

- A maximum dBA (L0) of 88.2 dBA from 7AM to 7PM where 65 dBA is required.
- A maximum dBA (L0) of 69.2 dBA from 7PM to 7AM where 50 dBA is required.
- Periodic/Impulsive dBA of 100.2 dBA from 7AM to 7PM where 50 dBA is required.
- Periodic/Impulsive dBA of 78.4 dBA from 7PM to 7AM where 45 dBA is required.
- An L25 of 78.3 dBA from 7AM to 7PM where 55 dBA is required.

Staff supported this request given the applicant demonstrated that the proposed decibel levels are within the acceptable range for HUD standards once mitigation occurs. This will include utilizing building construction material that provides additional noise mitigation and includes attic space insulation, exterior glazing and higher rating windows in order to ensure interior noise levels do not exceed 45dBA. A fence sound barrier will be required to be installed to reduce the elevated noise levels by at least 5.64dbA to ensure that this project aligns with HUD standards, which require a day night average sound level no greater than 65dBA.The location and details of this fence are shown within the approved landscape plans.

To notify future residents, the following note is on the Preliminary and Final Plat:

The future residents of this subdivision may experience elevated noise levels from Ken-Caryl Avenue. An instrument notifying all purchasers or lessees of potential noise impacts is recorded at reception number _____.

The recordation of the separate instrument referenced in the above plat note is listed as a condition of approval of this Plat.

Jefferson County Public Health and Planning and Zoning have reviewed the Sensory Impact Assessment and determined that with the approval of the Alternative Standard and after meeting the conditions referenced above, the proposed development will comply with Section 26 (Sensory Impact) of the Land Development Regulation.

8. <u>Wildlife/Vegetation/Landscaping</u>:

For this development, a Wildlife Habitat Assessment and Federally Listed Plan and Wetland Assessment were prepared by Western Ecological Resource in January of 2020. Per comments from Colorado Parks and Wildlife (CPW), this development is expected to impact wildlife. The following summarizes the recommendations of CPW and how these comments have been addressed (in italics):

- Housing should be clustered as much as possible to allow larger expanses of open space for wildlife.

  The housing within this development has been clustered with townhomes taking up the northern portion of the site. Approximately 5.323 acres (Tracts U and V) of land will remain as natural open space surrounding the residences to the south and east.

- Open space and detention areas should be developed with wildlife use and movement in mind and should be planted in native vegetation and remain undisturbed.

  The applicant has provided a detention and water quality pond to be located within Tract D, which will be seeded with native plantings.

- Since noxious weeds are on site, we recommend that machinery be inspected prior to leaving the site so visible plant material can be removed. This will help slow the spread of invasive seeds.

  Noxious weed notes have been placed on the construction plans to direct the contractors accordingly.

- Any drainage or detention areas would be most beneficial to wildlife if planted with native plantings and left undisturbed.

  Native plantings are proposed. A portion of the site will be left undisturbed on the south end.

- Raptors, and other migratory birds, are protected from take, harassment, and nest disruption at both the state and federal level. If nests are observed within the development area, CPW recommends that construction cease until outside of seasonal nest occupancy. If construction activity does occur, buffer zones should be established around the nest site. This will help prevent the unlawful destruction or disruption of active nesting activity.

  A note requiring these protocols has been placed on the construction plans. The Wildlife Studies conducted for this development show no migratory birds of concern or impact.

In addition, the US Fish and Wildlife Service commented that it has no concerns with this project resulting in impacts to species listed as candidate, proposed, threatened, or endangered.

The submitted Landscape Plans will be acceptable once revised in accordance with the engineering comments dated December 6, 2022. These comments are minor and pertain to the requirement to remove trees that may block the site distance. The resolution of these comments is listed as a condition of approval for this Plat.

The proposed Plat complies with Section 28 (Wildlife and Vegetation) of the Land Development Regulation related to Wildlife and Vegetation.

9. <u>Historical/Archeological/Paleontological:</u>

At the applicant's request, the Office of Archaeology and Historic Preservation conducted a search of the Colorado Inventory of Cultural Resources within the property. As a result, no sites were located, and no further analysis or study was required.

The Jefferson County Historical Commission reviewed this subdivision plat proposal and found that no historic sites will be affected if this application is approved.

The historical, archeological and paleontological requirements for this subdivision comply with Section 31 (Historical, Archaeological, and Paleontological) of the Land Development Regulation.

ADDITIONAL REQUIREMENTS:

1. <u>Park and School Requirements:</u>

The Land Development Regulation provides that park and school requirements can be met by either land dedication or payment of fees. For Ken Caryl Ranch North Plains Filing 2, park and school requirements are being fulfilled by land dedication and payment of fees.

2. <u>Park Land Dedication:</u>

The following table summarizes park land dedication credits and requirements that are applicable to this development. Park land dedication credits are in place because a previous development within Ken Caryl Ranch provided excess park land and therefore received credit to be used at a later date. There is currently a park land dedication credit or balance of 41.592 acres available.

The required Park Land Dedication for Ken Cary Ranch North Plains Filing 2 is calculated based on the following formula:

- [(number of units x population per unit)/1000 people] x (16 acres x 60%)
- Park Land Dedication = [(199 x 2.5)/1000 people] x 9.6 acres = 4.776 acres

Park Land Dedication Table	
Previous Park Area Balance	41.592 Acres
Park Land Dedicated with Ken Cary Ranch North Plains Filing 2 (Tract U)	2.738 Acres
Park Land Dedicated with Ken Cary Ranch North Plains Filing 1 (Tract V)	0.098 Acres
Less dedication requirement Ken Cary Ranch North Plains Filing 2	4.776 Acres
Park Land Dedication provided	2.836 Acres
Park Land Dedication balance owed	1.94 Acres
Remaining Park Land Credit	39.652 Acres

The above table indicates that with the approval of Ken Cary Ranch North Plains Filing 2, the required Park Land Dedication would be made and the applicant would have a remainder of 39.652 acres of park land available to use for credit towards future park requirements.

3. <u>School Land Dedication and School Fee Requirement:</u>

The following table summarizes school land dedication credits and requirements that are applicable to this development.

The required School Land Dedication for Ken Cary Ranch North Plains Filing 2 is calculated based on the following formula:

- [(number of units x population per unit)/1000 people] x (16 acres x 40%)
- School Land Dedication = [(199 x 2.5)/1000 people] x 6.4 acres = 3.184 acres

The required amount of School Land Dedication is 3.184 acres however the applicant would like to use 1.449 acres of credit rather than pay fees for the entire acreage.

School Land Dedication Table	
School Land Credits Remaining	3.196 Acres
Less 1.449 acres of credit to be used for Ken Cary Ranch North Plains Filing 2	3.196-1.449 = 1.747 Acres
Remaining School Land Credit	1.747 Acres

The above table indicates that with the approval of Ken Cary Ranch North Plains Filing 2, 1.747 acres of school land is available for credit towards school land requirements.

Remaining School Fee Requirement:

Step 1: Convert 1.735 acres (3.184 acres- 1.449 acres) to an equivalent number of Single Family Detached Lots (D)

1.735 Acres = [(2.5 x D)/1000] x 6.4

D = 108.44 or 109 units

Step 2: Determine School Fee for 109 attached lots

Per single Family Attached Unit (Plains) = (109)($3500) = $381,500

School Fee = ($381,500) (40%) = $152,600

4. Performance Guarantee and Subdivision Improvements Agreement:

The public improvements associated with this subdivision will be guaranteed by Plat restriction. At this time, the associated Improvements Agreement has not been approved as to form by the County Attorney's Office, and the Exhibit "A" to be attached to the Improvements Agreement has not been finally approved. Approval of the Improvements Agreement and Exhibit "A" are listed as conditions of approval for this development.

If this Plat is approved, the Chairman of the Board of County Commissioners shall be authorized to sign the Improvements Agreement on behalf of the County and staff will record the Improvements Agreement with the Plat.

5. Mineral Rights:

The applicant in this case certified that the required inspection occurred per Colorado State Statute and that the inspection indicated that mineral rights have not been severed from the surface estate of the subject property.

6. Commissioners' Deed CD22-132642DE:

Commissioners' Deed CD22-132642DE will convey the park sites, Tracts U and V, Ken Caryl Ranch North Plains Filing 2 from Jefferson County to the Ken-Caryl Ranch Metro District. Recordation of this deed is listed as a condition of approval for this Plat.

PLANNING COMMISSION:

Planning Commission Recommendation (Resolution Dated January 11, 2023 Attached):

Approval	
Approval with Conditions	X (6-1) vote
Denial	

The case was scheduled on the regular agenda for the Planning Commission hearing.

There were five people that appeared at the Planning Commission hearing and testified on this application. The testimony from the citizens was related to concerns pertaining to parking, traffic, strain on infrastructure and community, snow removal and lack of fit with the community.

The parking concerns pertained to the lack of and amount of covered parking. The applicant has met the parking requirements of the ODP and is providing 3.08 spaces per unit where 2 spaces per unit are required. A minor variation request was approved to allow a reduction in the amount of square footage of covered parking, therefore the requirements of the ODP are also being met. The applicant stated that all the units with the smaller garage footprints are for the 27 smallest homes (one car garage units).

The traffic concerns pertain to the strain on the existing infrastructure and surround intersections. The applicant and staff confirmed that the requirements of the Transportation Design and Construction Manual have been met. In addition, as a result of this project adjoining street and intersection improvements will be made at the W. Ken Carl Ave/W. Chatfield Ave intersection and the King Soopers intersection located at the main entrance to this site.

Water and sewer demands were brought up as a concern. It was confirmed that an Engineering analysis was prepared by the applicant and reviewed by Ken Caryl Water and Sanitation District, which has no outstanding concerns. The Division of Water Resources also had no concerns with the proposal.

Sensory impacts were discussed; particularly noise impacts. The applicant confirmed that the majority of the noise heard within this development area was a result of larger vehicles intermittently loading and unloading in the surrounding area. Staff confirmed that there will be mitigation measures in place to reduce the impacts on future home buyers and that the developer will be responsible to record a noise disclosure statement ensuring buyers are aware of increased noise levels in the area due to existing conditions.

Snow removal concerns pertained to the potential problem of finding a place to store snow without impacting residents. The applicant pointed out that there will be two fairly large dead-end streets which will serve as good locations for storage, without impacting the residents.

A concern was expressed that this proposal doesn't fit into the surrounding community. The applicant noted that it meets the requirements of the ODP and is less dense than the neighborhood to the south.

After hearing all testimony and questioning both the applicant and staff, the Planning Commission decided to approve the application with the conditions of approval set forth in the Staff report.

FINDINGS/RECOMMENDATIONS:

Staff recommends that the Board of County Commissioners find that the proposal conforms to the Land Development Regulation because all applicable regulations have been satisfied, or will be satisfied, prior to recordation of the Preliminary and Final Plat, as indicated within this report.

And;

Staff recommends that the Board of County Commissioners APPROVE Case No. 21-136270PF subject to the following conditions:

1. Submittal of a title insurance commitment update with an effective date less than 45 days prior to the recording of the Plat which depicts no new owners or encumbrances. Said title insurance commitment shall be approved by the County Attorney's Office.
2. The Improvements Agreement being approved as to form by the County Attorney's Office.
3. The recordation of the Plat mylars being prepared in accordance with the red-marked print dated

January 31, 2023.

4. Recordation and approval of Commissioners' Deed CD22-132642DE by the Board of County Commissioners.

5. Recordation of the subsurface groundwater collections system underdrain maintenance plan.

6. Recordation of a separate noise disclosure document regarding proximity to Ken-Caryl Avenue.

7. Recordation of an access and utility easement to the benefit of the created lots and the future lot owners.

8. Final approval of the water and sewer plans by the Ken Caryl Ranch Water and Sanitation District and recordation of the water and sewer easements.

9. Submittal of a current tax certificate from the County Treasurer's Office indicating that all ad valorem taxes applicable to Ken Caryl Ranch North Plains Filing 2 for prior years have been paid.

10. Resolution of Planning Engineering's comments dated December 6, 2022.

11. Payment of $152,600 for fees-in-lieu of school land dedication prior to plat recordation or payment of the fees-in-lieu of school land dedication as set forth in the Improvements Agreement prior to building permit, as applicable. This fee should be submitted on a separate check made payable to Jefferson County Treasurer.

Staff further recommends that the Board of County Commissioners authorize the Chairman to sign the Subdivision Improvements Agreement once approved as to form by the County Attorney's Office.

COMMENTS PREPARED BY:

Nathan Seymour

Nathan Seymour, Civil Planning Engineer
January 25, 2023

PROPOSED PLAT

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF JEFFERSON, STATE OF COLORADO.
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 1 OF 12

CASE NUMBER: 21–136270PF

JEFFERSON COUNTY COLORADO
BOARD OF COUNTY COMMISSIONERS
RED-MARKED PRINT
Return to Planning and Zoning
January 31, 2023

DEDICATION STATEMENT

KNOW ALL MEN BY THESE PRESENTS: THAT WE, THE UNDERSIGNED, BEING THE OWNERS AND THE HOLDER OF DEED OF TRUST, OF THOSE LANDS DESCRIBED BELOW, HAVE LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS, TRACTS, BLOCKS AND EASEMENTS, AS SHOWN HEREON UNDER THE NAME AND STYLE OF **KEN CARYL RANCH NORTH PLAINS FILING 2,** AND DO, BY THESE PRESENTS, OF OUR OWN FREE WILL AND VOLUNTARILY, WITHOUT COERCION, THREAT OR BUSINESS COMPULSION, GRANT, DEDICATE AND CONVEY TO THE COUNTY OF JEFFERSON, STATE OF COLORADO, IN FEE SIMPLE, TRACTS U, V, Y AND Z, ALL STREETS/ROADS RIGHT–OF–WAYS TOGETHER WITH ALL APPURTENANCES THERETO FOR PUBLIC USE, AND GRANT AND CONVEY TO THE COUNTY OF JEFFERSON, STATE OF COLORADO ALL EASEMENTS, EXCEPT THOSE OF PRIOR RECORD, AS SHOWN HEREON AND GRANT AND CONVEY TO THE COUNTY OF JEFFERSON AN EASEMENT OVER ANY AND ALL PRIVATE STREETS/ROADS AND RIGHTS–OF–WAY FOR THE PURPOSE OF PASSAGE OF SERVICE VEHICLES AND PASSAGE OF ALL VEHICLES AND PEDESTRIANS DURING AN EMERGENCY SITUATION. IT IS EXPRESSLY UNDERSTOOD THAT THE ACCEPTANCE OF THE DEDICATION OF THIS EASEMENT IS NOT TO BE CONSTRUED AS AN ACCEPTANCE BY THE COUNTY OF SAID PRIVATE STREETS/ROADS AND RIGHTS–OF–WAY FOR ANY OTHER PURPOSE INCLUDING MAINTENANCE PURPOSES.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 32, WHENCE THE EAST LINE OF SAID SECTION 32 BEARS SOUTH 00°22'19" EAST, A DISTANCE OF 5,280.86 FEET, WITH ALL BEARINGS HEREON REFERENCED TO SAID LINE;

THENCE ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 32, SOUTH 89°55'59" WEST, A DISTANCE OF 89.47 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°04'01" EAST, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN EXCEPTED PARCEL RECORDED AT RECEPTION NO. 2013088478 IN THE RECORDS OF THE CLERK AND RECORDER'S OF SAID JEFFERSON COUNTY, COLORADO AND THE **POINT OF BEGINNING**;

THENCE ALONG THE WESTERLY BOUDNARY OF SAID EXCEPTED PARCEL, THE FOLLOWING THIRTEEN (13) COURSES:

1. SOUTH 00°02'50" EAST, A DISTANCE OF 13.70 FEET;
2. SOUTH 24°08'31" EAST, A DISTANCE OF 19.61 FEET;
3. SOUTH 18°24'02" EAST, A DISTANCE OF 40.85 FEET;
4. SOUTH 00°34'48" WEST, A DISTANCE OF 29.91 FEET;
5. SOUTH 06°23'06" WEST, A DISTANCE OF 122.58 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 432.80 FEET;
6. SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06°19'38", AN ARC LENGTH OF 47.80 FEET;
7. SOUTH 00°59'32" EAST, A DISTANCE OF 42.07 FEET;
8. SOUTH 04°22'13" EAST, A DISTANCE OF 39.30 FEET;
9. SOUTH 00°03'14" WEST, A DISTANCE OF 398.75 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 429.00 FEET;
10. SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°35'45", AN ARC LENGTH OF 86.82 FEET;
11. SOUTH 11°32'30" EAST, A DISTANCE OF 65.54 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 371.00 FEET;
12. SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°35'46", AN ARC LENGTH OF 75.09 FEET;
13. SOUTH 00°03'14" WEST, A DISTANCE OF 33.37 FEET;

THENCE DEPARTING SAID WESTERLY BOUNDARY, NORTH 88°34'01" WEST, A DISTANCE OF 1,231.16 FEET;

THENCE SOUTH 89°01'18" WEST, A DISTANCE OF 30.00 FEET;

THENCE NORTH 00°58'42" WEST, A DISTANCE OF 673.58 FEET;

THENCE NORTH 89°01'18" EAST, A DISTANCE OF 30.00 FEET TO THE EASTERLY RIGHT–OF–WAY OF SOUTH ALKIRE STREET RECORDED AT RECEPTION NO. 79037446 IN SAID RECORDS;

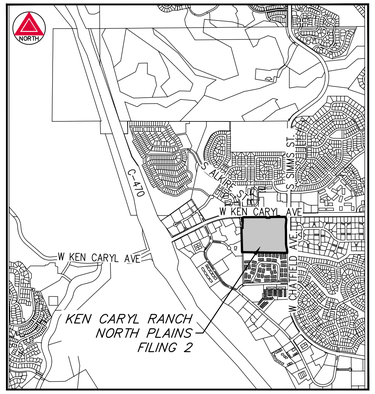
THENCE ALONG SAID EASTERLY RIGHT–OF–WAY, THE FOLLOWING FIVE (5) COURSES:

1. NORTH 00°58'42" WEST, A DISTANCE OF 75.03 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 362.50 FEET;
2. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 09°31'38", AN ARC LENGTH OF 60.28 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 362.50 FEET;
3. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 09°31'38", AN ARC LENGTH OF 60.28 FEET;
4. NORTH 00°58'42" WEST, A DISTANCE OF 76.88 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 30.00 FEET;
5. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°54'41", AN ARC LENGTH OF 47.60 FEET TO THE SOUTHERLY RIGHT–OF–WAY OF KEN CARYL AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT–OF–WAY, THE FOLLOWING SIX (6) COURSES:

1. NORTH 89°55'59" EAST, A DISTANCE OF 635.05 FEET;
2. SOUTH 00°04'01" EAST, A DISTANCE OF 20.00 FEET;
3. NORTH 89°55'59" EAST, A DISTANCE OF 90.00 FEET;
4. NORTH 00°04'01" WEST, A DISTANCE OF 20.00 FEET;
5. NORTH 89°55'59" EAST, A DISTANCE OF 444.30 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 30.00 FEET;
6. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 01°20'31", AN ARC LENGTH OF 0.70 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 28.041 ACRES, (1,221,479 SQUARE FEET), MORE OR LESS.



VICINITY MAP
SCALE 1" = 2,000'

OWNER/SUBDIVIDER

NADG KEN–CARYL RANCH LP, A DELAWARE LIMITED PARTNERSHIP

BY: NADG KCR GP, LP, A DELAWARE LIMITED PARTNERSHIP,
ITS GENERAL PARTNER

BY: NADG (US) GENERAL PARTNER, INC., A DELAWARE CORPORATION,
ITS GENERAL PARTNER

BY: _____
JEFFREY W PRESTON, VICE PRESIDENT

STATE OF FLORIDA)
)SS
COUNTY OF PALM BEACH)

THE DEDICATION(S), CONDITIONS, AND RESTRICTIONS SET FORTH HEREIN WERE

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023, BY NADG KEN–CARYL RANCH LP, A DELAWARE LIMITED PARTNERSHIP, BY NADG KCR GP, LP, A DELAWARE LIMITED PARTNERSHIP, ITS GENERAL PARTNER, BY NADG (US) GENERAL PARTNER, INC. A DELAWARE CORPORATION, ITS GENERAL PARTNER, BY JEFFREY W PRESTON ITS VICE PRESIDENT

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____,

HOLDER OF DEED OF TRUST

CIBC BANK USA, AN ILLINOIS STATE CHARTERED BANK

BY: _____

NAME: _____

TITLE: _____

STATE OF FLORIDA)
)SS
COUNTY OF PALM BEACH)

THE DEDICATION(S), CONDITIONS, AND RESTRICTIONS SET FORTH HEREIN WERE

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023, BY

_____ AS _____ OF
CIBC BANK USA, AN ILLINOIS STATE CHARTERED BANK

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____,

TITLE COMPANY CERTIFICATE

I, _____, AS AUTHORIZED AGENT OF THE UNDERSIGNED TITLE COMPANY, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE OF LANDS HEREIN DEDICATED AND SHOWN UPON THE WITHIN PLAT AS PUBLIC LANDS, PUBLIC WAYS AND EASEMENTS, AND THE TITLE OF SUCH LANDS IS IN THE DEDICATOR(S), FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, EXCEPT AS SHOWN IN TITLE COMMITMENT NO. ABD70643995.3–6, ISSUED BY LAND TITLE GUARANTEE COMPANY, WITH AN EFFECTIVE DATE OF 12/27/2022 AT 5:00 P.M.

Update as needed

_____

AS AUTHORIZED AGENT OF LAND TITLE GUARANTEE COMPANY

REVIEW CERTIFICATE

REVIEWED BY JEFFERSON COUNTY PUBLIC HEALTH THIS ____ DAY OF _____, 2023

_____
PUBLIC HEALTH

REVIEWED BY THE PLANNING COMMISSION THIS ___ DAY OF _____, 2023.

_____
CHAIRMAN

ACCEPTANCE CERTIFICATE

THE FOREGOING INSTRUMENT IS APPROVED FOR FILING; AND CONVEYANCE OF THE STREETS/ROADS, TRACTS U, V, Y AND Z, AND EASEMENTS ARE ACCEPTED BY THE COUNTY OF JEFFERSON, STATE OF COLORADO,

THIS ____ DAY OF _____, 2023. THE COUNTY SHALL UNDERTAKE MAINTENANCE OF ANY SUCH STREET/ROADS AND PUBLIC WAYS ONLY AFTER CONSTRUCTION THEREOF HAS BEEN SATISFACTORILY COMPLETED BY THE DEVELOPER AND ACCEPTED BY THE COUNTY.

_____ CLERK

_____ CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF KEN CARYL RANCH NORTH PLAINS FILING NO. 2 WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION ON OR ABOUT THE _____ DAY OF _____, 2023, AND THAT THE SURVEY IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF, IT HAS BEEN PREPARED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, THE SURVEY IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED, AND THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION AND THE SURVEY THEREOF.

FOR REVIEW

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, NO. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.

JEFFERSON COUNTY CLERK AND RECORDER'S CERTIFICATE

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF

JEFFERSON COUNTY AT GOLDEN, COLORADO, THIS ____ DAY OF _____, 2023,

_____
COUNTY CLERK AND RECORDER

_____
DEPUTY CLERK

The County Attorneys office will review this Plat against a Title Commitment with an effective date within 45 days of recordation. Minor modifications to this document may result.

DATE	BY	REVISION DESCRIPTION
2023–01–13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2023–01–06	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022–10–13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022–06–17	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022–02–22	RBA	ADDRESSED COUNTY COMMENTS & REVISIONS

REVISION TABLE

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 54820-29 Drawn By: BAM

DEVELOPER
NADG KEN–CARYL RANCH LP
2851 JOHN STREET, SUITE ONE
MARKHAM, ONTARIO L3R 5R7, CANADA
905.477.9200 / WWW.NADG.COM

DATE OF PREPARATION:	2021-10-21
SCALE:	N/A
SHEET 1 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF JEFFERSON, STATE OF COLORADO.
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 2 OF 12

CASE NUMBER: 21-136270PF

GENERAL NOTES

1. THE PURPOSE OF THIS PLAT IS TO CREATE 199 SINGLE FAMILY ATTACHED LOTS AND 28 TRACTS.
2. UTILITY EASEMENTS ARE DEDICATED TO JEFFERSON COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. DISTANCES ON THIS PLAT ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
5. THE FIELD WORK FOR THIS SURVEY WAS PERFORMED BY AN AZTEC CONSULTANTS, INC. SURVEY CREW AND COMPLETED ON MAY 3, 2021.
6. BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 CENTRAL ZONE (NAD 83, 2011) REFERENCED TO THE EAST LINE OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 69 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR SOUTH 00°22'19" EAST, A DISTANCE OF 5,280.86 FEET.
7. FLOOD ZONE: THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS – ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08059C0384F, MAP REVISED FEBRUARY 5, 2014.
8. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
9. NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.
10. TRACTS B, C, I, AA AND BB ARE FOR UTILITY, DRAINAGE, EMERGENCY ACCESS, AND PUBLIC ACCESS PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. TRACTS "B, C, I, AA AND BB" SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS THE TRACTS ARE CONVEYED TO THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY.
11. TRACT D IS FOR DRAINAGE AND UTILITY PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. TRACT "D" SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS THE TRACT IS CONVEYED TO THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY
12. TRACTS A, E-H, J-S, AND X ARE FOR COMMON AREA, DRAINAGE, LANDSCAPE, PUBLIC ACCESS, SIDEWALK, TRAIL AND UTILITY PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. TRACTS "A, E-H J-S, AND X" SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS THE TRACTS ARE CONVEYED TO THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. TRACT D IS SPECIFICALLY RESERVED FOR DRAINAGE PURPOSES.
13. TRACT T SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS FOR USE AS A CLUBHOUSE AND COMMUNITY CENTER.
14. TRACTS U AND V ARE FOR LANDSCAPE, SIDEWALK, COMMON AREA, DRAINAGE AND UTILITY PURPOSES AND SHALL BE DEDICATED VIA THIS PLAT TO JEFFERSON COUNTY THEN SUBSEQUENTLY DEEDED TO THE KEN-CARYL RANCH METRO DISTRICT FOR MAINTENANCE AND OWNERSHIP VIA RECEPTION NO. _____.
15. TRACT W IS FOR LANDSCAPE, COMMON AREA, DRAINAGE AND UTILITY PURPOSES AND SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS THE TRACT IS CONVEYED TO KEN-CARYL RANCH METRO DISTRICT.
16. TRACTS Y AND Z SHALL BE OWNED AND MAINTAINED BY JEFFERSON COUNTY, ITS SUCCESSORS AND ASSIGNS, FOR PUBLIC RIGHT-OF-WAY.
17. THE APPROVED DRAINAGE PLANS FOR KEN CARYL RANCH NORTH PLAINS FILING 2 ARE ON FILE WITH THE JEFFERSON COUNTY PLANNING AND ZONING DIVISION. THE "DRAINAGE SYSTEM" INCLUDES THE DRAINAGE FACILITIES, DETENTION POND(S) AND ASSOCIATED APPURTENANCES AS DESCRIBED ON THE APPROVED DRAINAGE PLANS. NO MODIFICATIONS TO THE DRAINAGE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM JEFFERSON COUNTY. THE DRAINAGE SYSTEM SHALL BE OWNED AND MAINTAINED BY THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. THE DRAINAGE SYSTEM SHALL BE MAINTAINED BY THE SUBDIVIDER, ITS SUCCESSORS OR ASSIGNS UNTIL SUCH TIME AS THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY ACCEPTS SUCH RESPONSIBILITY.
18. ALL EMERGENCY ACCESS EASEMENTS AND TRACTS ARE FOR THE PURPOSE OF PASSAGE OF SERVICE VEHICLES AND PASSAGE OF ALL VEHICLES AND PEDESTRIANS DURING AN EMERGENCY SITUATION. IT IS EXPRESSLY UNDERSTOOD THAT THE ACCEPTANCE OF THE DEDICATION OF THIS EASEMENT IS NOT TO BE CONSTRUED AS AN ACCEPTANCE BY THE COUNTY OF SAID PRIVATE ACCESS DRIVES AND RIGHTS-OF-WAY FOR ANY OTHER PURPOSE INCLUDING MAINTENANCE PURPOSE.
19. FRONT SETBACKS SHALL BE MEASURED FROM THE TEN (10) FOOT WIDE UTILITY, DRAINAGE, SIDEWALK, SIGN AND STREET MAINTENANCE EASEMENT AS SHOWN HEREON.
20. AREAS ADJACENT TO COMMON AREA TRACTS MUST HAVE WILDLIFE FRIENDLY FENCING.

GENERAL NOTES CONTINUED

21. LANDSCAPE MAINTENANCE
    A. MAINTENANCE OF REQUIRED LANDSCAPING, INCLUDING IRRIGATION SYSTEMS, FENCES, WALLS, SIDEWALKS, AND OTHER LANDSCAPE STRUCTURES WHERE THEY EXIST, IS THE ONGOING RESPONSIBILITY OF THE LANDOWNER.
    B. PLANT MATERIALS REQUIRED AS PART OF A COUNTY-APPROVED LANDSCAPE PLAN SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY, GROWING, AND ORDERLY CONDITION. THIS SHALL INCLUDE PROPER PRUNING, MOWING OF TURF AREAS, FERTILIZATION, THE REGULAR APPLICATION OF APPROPRIATE QUANTITIES OF WATER, AND THE REGULAR TREATMENT AND REPAIR OF ALL DISEASED OR INSECT RIDDEN MATERIALS. ALL UNHEALTHY, DAMAGED, DESTROYED, IRREPARABLE, REMOVED, OR DEAD PLANT MATERIALS SHALL BE REPLACED WITHIN ONE (1) GROWING SEASON (WHERE A GROWING SEASON IS DEFINED AS THE DAYS BETWEEN APRIL 15 AND OCTOBER 15) WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE. IN ALL CASES, THE REPLACEMENT PLANT MATERIAL SHALL PRESERVE THE INTENT AND PURPOSE OF THE ORIGINAL PLANT MATERIAL AND THE COUNTY-APPROVED LANDSCAPE PLAN.
    C. STRUCTURES REQUIRED AS PART OF THE COUNTY-APPROVED LANDSCAPE PLAN, SUCH AS IRRIGATION SYSTEMS, FENCES, WALLS, SIDEWALKS, AND OTHER LANDSCAPE ELEMENTS, SHALL BE CONTINUOUSLY MAINTAINED IN A STRUCTURALLY SOUND, AND ORDERLY CONDITION. ALL DAMAGED, DESTROYED, IRREPARABLE, OR REMOVED LANDSCAPE STRUCTURES SHALL BE REPLACED WITHIN ONE (1) YEAR WITH SIMILAR STRUCTURES. IN ALL CASES, THE REPLACEMENT STRUCTURE SHALL PRESERVE THE INTENT AND PURPOSE OF THE ORIGINAL STRUCTURE AND THE COUNTY-APPROVED LANDSCAPE PLAN.
    D. REQUIRED LANDSCAPE AREAS, AS DELINEATED IN THE COUNTY-APPROVED LANDSCAPE PLAN, SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, PESTS, AND OTHER SUCH ELEMENTS NOT PART OF THE COUNTY-APPROVED LANDSCAPE PLAN.
    E. ENTRANCE ONTO THE PROPERTY AND PERIODIC INSPECTIONS OF LANDSCAPING BY PERSONNEL FROM THE COUNTY SHALL BE ALLOWED BY THE LANDOWNER.
22. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY AND ON FILE WITH PLANNING AND ZONING. NO ALTERATIONS OR MODIFICATIONS TO THE LANDSCAPING SHALL BE MADE WITHOUT PRIOR APPROVAL BY PLANNING AND ZONING.
23. TREES AND ANY OTHER LANDSCAPE MATERIALS IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS WITHIN 5 FEET OF BACK OF CURB SHALL NOT CAUSE SIGHT DISTANCE PROBLEMS WITH VEHICLES ENTERING THE ADJOINING STREET FROM DRIVEWAYS OR NEARBY INTERSECTIONS. IN CASE OF FUTURE DISPUTES REGARDING SIGHT DISTANCE, THE COUNTY'S SIGHT DISTANCE TABLE SHALL BE USED TO DETERMINE THE OUTCOME.
24. AN UNDERGROUND DRAIN SYSTEM IS REQUIRED FOR THIS SUBDIVISION. THE MAIN COLLECTION LINES OF THE UNDERDRAIN SYSTEM WILL BE LOCATED IN THE RIGHT-OF-WAY AND/OR DRAINAGE EASEMENTS AND DRAIN SYSTEM EASEMENTS SHOWN HEREON. THE MAIN COLLECTION LINES SHALL BE MAINTAINED BY THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY. THE SUBDIVIDER(S) WILL MAINTAIN THE MAIN COLLECTION LINES UNTIL THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY ACCEPTS SUCH RESPONSIBILITY. THAT PART OF THE UNDERDRAIN SYSTEM WITHIN EACH LOT CONNECTING TO THE MAIN COLLECTION LINES WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER. THE SUBDIVIDER(S) WILL MAINTAIN THE INDIVIDUAL SYSTEM IN EACH LOT UNTIL THE LOT IS CONVEYED TO ANOTHER OWNER.
25. THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY SHALL BE RESPONSIBLE FOR RAISING THE UNDERDRAIN SYSTEM CLEAN OUTS LOCATED IN THE STREET/ROAD PAVEMENT PRIOR TO ANY PAVEMENT OVERLAY AS DIRECTED BY THE COUNTY. IT SHALL BE THE HOGBACK METRO DISTRICT OR EQUIVALENT ENTITY'S RESPONSIBILITY TO KEEP CURRENT AT THE JEFFERSON COUNTY ROAD AND BRIDGE DEPARTMENT THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE MEMBER OR DESIGNEE OF THE DISTRICT RESPONSIBLE FOR THE UNDERDRAIN SYSTEMS MAINTENANCE.
26. THE UNDERGROUND DRAIN SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SUBSURFACE GROUNDWATER COLLECTION SYSTEM MAINTENANCE PLAN RECORDED IN JEFFERSON COUNTY RECORDS AT RECEPTION NUMBER _____.
27. BUILDING PERMITS ON BLOCK 1 LOTS 10, 11, 21, 22 AND BLOCK 3 LOTS 1-33 SHALL UTILIZE BUILDING CONSTRUCTION MATERIALS THAT PROVIDES ADDITIONAL NOISE MITIGATION INCLUDING, BUT NOT LIMITED TO, ATTIC SPACE INSULATION, EXTERIOR GLAZING AND HIGHER RATING WINDOWS. PRIOR TO ISSUANCE OF A BUILDING PERMIT A CERTIFICATION SHALL BE PROVIDED BY THE PROJECT ARCHITECT STATING THAT THE APPROPRIATE CONSTRUCTION MATERIALS HAVE BEEN INCORPORATED TO MITIGATE NOISE LEVELS.
28. TWELVE FEET OF SEPARATION BETWEEN THE BOTTOM OF FOUNDATION AND TOP OF BEDROCK IS REQUIRED FOR STRUCTURES WITH BASEMENTS AND FOURTEEN FEET OF SEPARATION BETWEEN THE BOTTOM OF FOUNDATION AND TOP OF BEDROCK IS REQUIRED FOR STRUCTURES WITH CRAWLSPACES.
29. THE FUTURE RESIDENTS OF THIS SUBDIVISION MAY EXPERIENCE ELEVATED NOISE LEVELS FROM KEN CARYL AVENUE. AN INSTRUMENT NOTIFYING ALL FUTURE PURCHASERS OR LEASES OF POTENTIAL NOISE IMPACTS IS RECORDED AT RECEPTION NUMBER_____.
30. THE SUBJECT PROPERTY IS ZONED PLANNED DEVELOPMENT AND GOVERNED BY THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENTS AMENDED OFFICIAL DEVELOPMENT PLANS RECORDED IN THE JEFFERSON COUNTY RECORDS AT RECEPTION NUMBERS 78093741 AND 79062009.
31. THE SUBDIVIDER ITS SUCCESSOR(S) OR ASSIGNS SHALL NOTIFY COLORADO 811 AND BE RESPONSIBLE FOR ALL UTILITY LOCATES REQUIRED WITHIN COUNTY RIGHT-OF-WAY UNTIL SUCH TIME THAT THE COUNTY ACCEPTS THE STREET(S)/ROAD(S) FOR MAINTENANCE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE LAND DEVELOPMENT REGULATION.
32. THE HOGBACK METROPOLITAN DISTRICT OR EQUIVALENT ENTITY IS RESPONSIBLE FOR ROUTINE MAINTENANCE OF THE S.S.M.U.E EASEMENTS LOCATED ADJACENT TO WEST LAUREL PLACE, SOUTH TAFT COURT AND WEST FAIRVIEW TRAIL AND AS SHOWN HEREON. THE HOGBACK METROPOLITAN DISTRICT OR EQUIVALENT ENTITY IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF DAMAGED PORTIONS OF THE SIDEWALK WITHIN SAID EASEMENTS. THE EASEMENTS CONVEY TO JEFFERSON COUNTY THE RIGHT BUT NOT THE OBLIGATION TO REPAIR OR REPLACE THE SIDEWALK IF NOT REPAIRED BY THE HOGBACK METROPOLITAN DISTRICT OR EQUIVALENT ENTITY. THE EASEMENTS FURTHER CONVEY TO JEFFERSON COUNTY THE RIGHT FOR PUBLIC USE OF THE SIDEWALKS. JEFFERSON COUNTY IS NOT RESPONSIBLE FOR MAINTENANCE OF REPLACEMENT OF ANY LANDSCAPING WITHIN THE TREE LAWNS OF WEST LAUREL PLACE, SOUTH TAFT COURT AND WEST FAIRVIEW TRAIL.
33. A RESERVATION OF AN UNDIVIDED 1/2 OF GRANTOR'S RIGHT, TITLE AND INTEREST IN AND TO ALL OIL, GAS AND OTHER SIMILAR AND DISSIMILAR MINERALS, UPON CONDITIONS, TERMS AND PROVISIONS THEREOF, IS RESERVED IN DEED RECORDED JULY 20, 1971 IN BOOK 2280 AT PAGE 203.
34. A RESERVATION OF ALL RIGHT, TITLE AND INTEREST IN AND TO ALL COAL, OIL, GAS OR OTHER MINERALS AND MINERAL RIGHTS, WHETHER SIMILAR OR DISSIMILAR, AND ALL GEOTHERMAL RESOURCES, IN, ON, OR UNDER THE LANDS AS SET FORTH IN DEED RECORDED APRIL 3, 1987 UNDER RECEPTION NO. 87043077.
35. THE SURROUNDING STREET RIGHT-OF-WAY WIDTHS WERE BASED ON PLATTED INFORMATION, A TITLE SEARCH WAS NOT COMPLETED ON THE STREET RIGHT-OF-WAY AND THEREFORE ANY ADDITIONAL RIGHT-OF-WAY GRANTS BY DEED WOULD NOT BE REFLECTED ON THIS PLAT.

DIPPING BEDROCK
PUBLIC NOTICE IS HEREBY GIVEN THAT A PORTION OR ALL OF THIS SITE IS LOCATED WITHIN THE DIPPING BEDROCK OVERLAY DISTRICT AS DEFINED IN THE JEFFERSON COUNTY ZONING RESOLUTION. THIS DISTRICT CONTAINS AN UNUSUAL GEOLOGIC HAZARD WITH THE POTENTIAL FOR SEVERE DIFFERENTIAL HEAVING OF BEDROCK THAT CAN RESULT IN FOUNDATION, BURIED UTILITY AND CONCRETE FLATWORK MOVEMENT. THIS SITE WAS PLATTED IN ACCORDANCE WITH THE REGULATIONS CONTAINED IN THE JEFFERSON COUNTY ZONING RESOLUTION AND LAND DEVELOPMENT REGULATION IN EFFECT AT THE TIME OF DEVELOPMENT.

EXPANSIVE SOILS RESTRICTION
PRIOR TO THE ISSUANCE OF EACH BUILDING PERMIT, AN ENGINEER, LICENSED IN THE STATE OF COLORADO AND EXPERIENCED IN DESIGN AND CONSTRUCTION OF STRUCTURES ON EXPANSIVE SOILS, SHALL CERTIFY TO THE COUNTY THE FOLLOWING.
1. THAT A SUBSURFACE SOILS INVESTIGATION, INCLUDING A TEST BORING, HAS BEEN CONDUCTED ON THE SPECIFIC LOT TO WHICH THE BUILDING PERMIT REFERENCES AND THAT A DETERMINATION HAS BEEN MADE AS TO THE DESIGN CRITERIA NECESSARY TO ASSURE THE SAFETY AND STRUCTURAL INTEGRITY FOR ALL BUILDINGS AND STRUCTURES AS DEFINED IN SECTION 1 OF THE JEFFERSON COUNTY ZONING RESOLUTION.
2. THAT PROPER SUBSURFACE DRAINAGE HAS BEEN DESIGNED FOR THE SPECIFIC LOT TO WHICH THE BUILDING PERMIT REFERENCES AND THAT A DETERMINATION HAS BEEN MADE AS TO THE DESIGN CRITERIA NECESSARY TO ASSURE THE SAFETY AND STRUCTURAL INTEGRITY FOR ALL BUILDINGS AND STRUCTURES AS DEFINED IN SECTION 1 OF THE JEFFERSON COUNTY ZONING RESOLUTION.
3. THAT THE PLANS SUBMITTED TO BUILDING SAFETY HAVE BEEN REVIEWED AND/OR PREPARED BY THE SUBJECT ENGINEER AND THAT HE HAS VERIFIED THAT SAID PLANS MEET OR EXCEED THE CRITERIA SET FORTH IN PARAGRAPHS 1. AND 2. ABOVE.
BEFORE THE COUNTY PERFORMS A FINAL INSPECTION PURSUANT TO THE JEFFERSON COUNTY BUILDING CODE, AN ENGINEER, LICENSED IN THE STATE OF COLORADO AND EXPERIENCED IN THE FIELD OF DESIGN AND CONSTRUCTION OF STRUCTURES ON EXPANSIVE SOILS, SHALL VERIFY AND CERTIFY THAT THE ACTUAL CONSTRUCTION OF THE FOUNDATION AND SUBSURFACE DRAINAGE SYSTEM MEETS THE SPECIFICATION IN THE PLANS AS SUBMITTED IN THE BUILDING PERMIT APPLICATION.

UNDERDRAIN RESTRICTION
PRIOR TO THE ROUGH FRAMING INSPECTION, A COMPLETED FORM LETTER U IS REQUIRED TO VERIFY A PHYSICAL CONNECTION BETWEEN THE PERIMETER DRAIN AND MAIN SUBSURFACE GROUNDWATER COLLECTION SYSTEM.

COVENANT AND RESTRICTION ON CONVEYANCE, SALE OR TRANSFER

AS A CONDITION OF APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS OF JEFFERSON COUNTY AND TO MEET THE REQUIREMENTS OF SECTION 30-28-137, C.R.S., AS AMENDED, NO CONVEYANCE, SALE, OR TRANSFER OF TITLE OF THIS ENTIRE DEVELOPMENT, OR OF ANY LOT, LOTS, TRACT, OR TRACTS OF LAND IDENTIFIED HEREON, SHALL BE MADE, NOR SHALL ANY BUILDING PERMIT OR CERTIFICATE OF OCCUPANCY BE ISSUED UNTIL A CERTIFICATE OF COMPLIANCE HAS BEEN GRANTED BY THE COUNTY OF JEFFERSON, STATE OF COLORADO, DULY RECORDED BY THE CLERK AND RECORDER OF SAID SAME COUNTY, CERTIFYING THAT:

(a) THOSE PUBLIC IMPROVEMENTS AS SET FORTH IN EXHIBIT "A" OF THE IMPROVEMENTS AGREEMENT, RECORDED UNDER RECEPTION NUMBER _____ OF THE RECORDS OF THE JEFFERSON COUNTY CLERK AND RECORDER, OR THAT PORTION OF SAID IMPROVEMENTS AS SHALL BE NECESSARY TO TOTALLY SERVE SPECIFIC LOT(S) OR TRACT(S) COVERED BY A PARTICULAR CERTIFICATE OF COMPLIANCE, HAVE BEEN PROPERLY DESIGNED, ENGINEERED, CONSTRUCTED AND ACCEPTED AS MEETING THE STANDARDS OF THE COUNTY OF JEFFERSON, APPLICABLE SPECIAL DISTRICTS, AND APPLICABLE SERVICING AUTHORITIES, OR, THAT A SUBSTITUTED SECURITY OR COLLATERAL AUTHORIZED PURSUANT TO SECTION 30-28-101, C.R.S., AS AMENDED, HAS BEEN SUBMITTED TO AND ACCEPTED BY THE COUNTY OF JEFFERSON, WHICH IS SUFFICIENT IN THE JUDGMENT OF THE COUNTY TO ASSURE COMPLETION OF ALL PUBLIC IMPROVEMENTS AS SET FORTH IN EXHIBIT "A" OF SAID IMPROVEMENTS AGREEMENT RECORDED UNDER RECEPTION NUMBER _____ OR ANY PORTION THEREOF NECESSARY TO SERVE THE SPECIFIC LOT(S) OR TRACTS(S) TO BE COVERED BY A PARTICULAR CERTIFICATE OF COMPLIANCE AND TO ASSURE SAID IMPROVEMENTS ARE COMPLETED IN ACCORDANCE WITH REASONABLE DESIGN AND TIME SPECIFICATION;

(b) A BUILDING PERMIT MAY BE ISSUED FOR UP TO 6 HOMES TO BE DESIGNATED AS "SHOW HOMES" WITHOUT COMPLETING PUBLIC IMPROVEMENTS OR OBTAINING THE NECESSARY WATER TAPS PROVIDED NEITHER THE OWNER/SUBDIVIDER, ANY HOLDERS OF DEEDS OF TRUST NOR ANY OTHER PERSON SHALL BE PERMITTED TO SELL, OFFER TO SELL, LEASE, RENT, CONVEY, TRANSFER, OR ASSIGN ANY SUCH HOME(S), LOT(S), OR TRACT(S) OR TO OCCUPY AS A DWELLING OR A PERMANENT OFFICE ANY PORTION OF SUCH HOME(S) PRIOR TO THE GRANTING BY THE COUNTY OF A CERTIFICATE OF COMPLIANCE FOR SUCH LOT(S) OR TRACT(S). THE OWNER/SUBDIVIDER SHALL PROVIDE A COMPACTION REPORT AND OBTAIN APPROVAL FROM THE APPROPRIATE FIRE PROTECTION DISTRICT FOR WATER AND ACCESS PRIOR TO ISSUANCE OF A BUILDING PERMIT. BUILDING SAFETY SHALL CONDUCT FINAL INSPECTIONS PRIOR TO THE USE OF THE SHOW HOMES. THE OWNER/SUBDIVIDER AND HOLDERS OF DEEDS OF TRUST AGREE AND PROMISE TO FOREVER RELEASE, HOLD HARMLESS, AND INDEMNIFY THE COUNTY OF JEFFERSON, STATE OF COLORADO, ITS ELECTED OFFICIALS, EMPLOYEES AND AGENTS, FROM ANY SUIT, CLAIM, DAMAGES OR OTHER LEGAL LIABILITY, INCLUDING COSTS AND ATTORNEYS' FEES, ARISING EITHER DIRECTLY OR INDIRECTLY OUT OF, THE CONSTRUCTION OF ANY SUCH HOME(S) OR THE USE OF ANY SUCH HOME(S). THE OWNER/SUBDIVIDER HEREBY ACKNOWLEDGES AND AGREES THAT A DOCUMENT WILL BE RECORDED IN JEFFERSON COUNTY UPON ISSUANCE OF A BUILDING PERMIT FOR ANY SUCH SHOW HOME(S) THAT WILL CONTAIN THE RESTRICTIONS SET FORTH HEREIN. AND

PROVIDED, HOWEVER THAT A CONVEYANCE, SALE, OR TRANSFER OF A SPECIFIC LOT(S) OR TRACT(S) OF LAND IDENTIFIED HEREON MAY BE MADE PRIOR TO COMPLIANCE WITH THE ABOVE PROVISIONS WHERE THE SUBDIVIDER(S) AND THE PROPOSED TRANSFEREE, WHO MUST ALSO QUALIFY AS A "SUBDIVIDER" UNDER THE PROVISIONS OF SECTION 30-28-137, C.R.S., AS DEFINED IN SECTION 30-28-101 (9), C.R.S., AND THE BOARD OF COUNTY COMMISSIONERS OF JEFFERSON COUNTY HAVE EXECUTED AN AMENDMENT TO THE IMPROVEMENTS AGREEMENT WHEREBY THE TRANSFEREE SUBDIVIDER AGREES TO COMPLY WITH THE SAME REQUIREMENTS AND RESTRICTIONS OF THIS COVENANT AND PLAT RESTRICTION ON CONVEYANCE, SALE OR TRANSFER.

THESE RESTRICTIONS ON CONVEYANCE, SALE OR TRANSFER OF TITLE OF THIS ENTIRE DEVELOPMENT OR ANY LOT(S) OR TRACT(S) OF LAND IDENTIFIED HEREON SHALL RUN WITH THE LAND AND SHALL EXTEND TO AND BE BINDING UPON THE HEIRS, EXECUTORS, LEGAL REPRESENTATIVES AND ASSIGNS OF THE SUBDIVIDER AND SHALL BE ENFORCEABLE PURSUANT TO THE PROVISIONS OF SECTION 30-28-137, C.R.S, AS AMENDED. APPROVED, COVENANTED, AND AGREED TO AS CONSIDERATION FOR FINAL APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS THIS

_____ DAY OF _____, 2022.

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

DATE	BY	REVISION DESCRIPTION
2023-01-13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2023-01-06	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-10-13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-06-17	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-02-22	RBA	ADDRESSED COUNTY COMMENTS & REVISIONS

REVISION TABLE

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AzTec Proj. No.: 54820-29 Drawn By: BAM

DEVELOPER
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MARKHAM, ONTARIO L3R 5R7, CANADA
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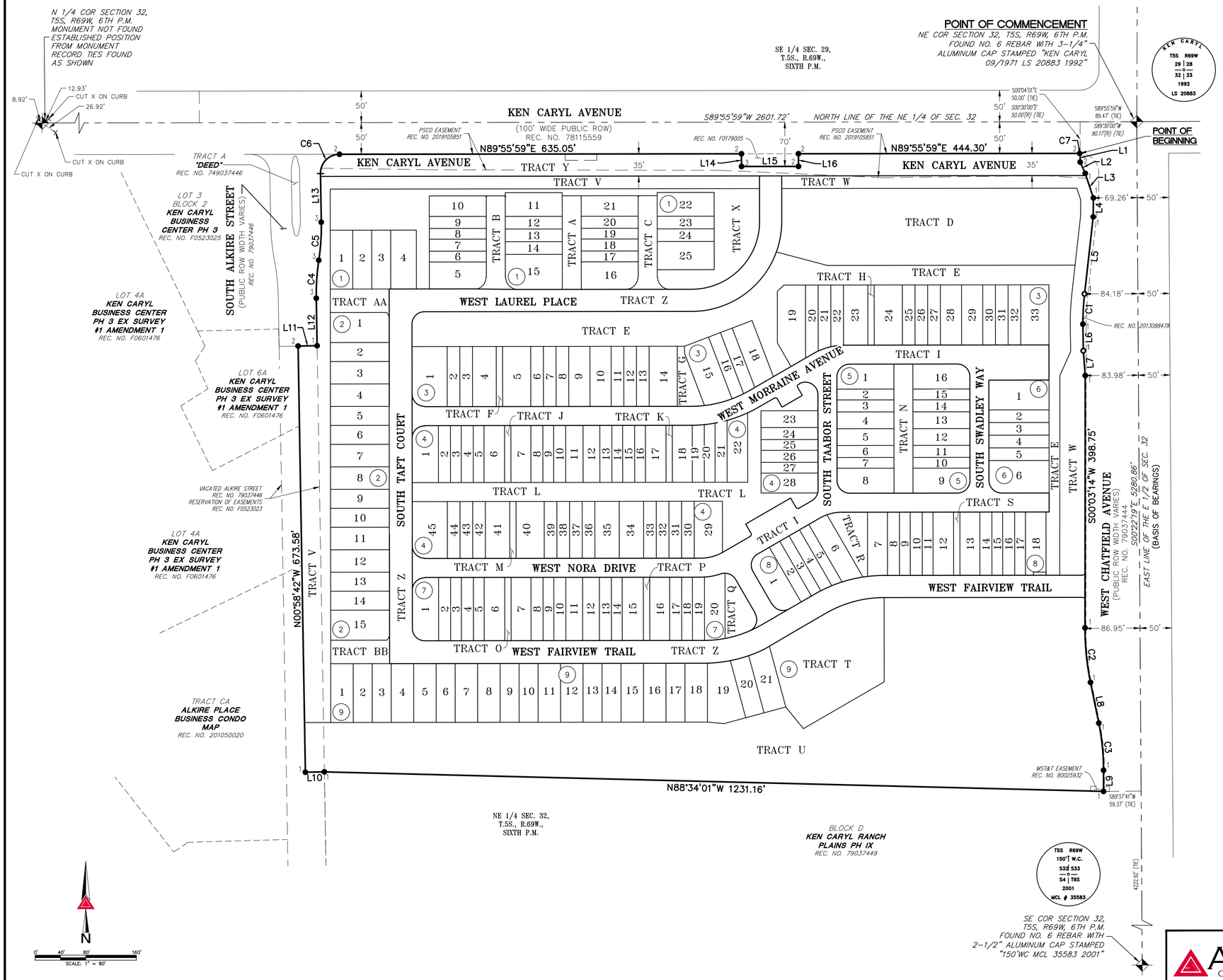
DATE OF PREPARATION:	2021-10-21
SCALE:	N/A

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF JEFFERSON, STATE OF COLORADO.
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS

SHEET 3 OF 12

CASE NUMBER: 21-136270PF



LEGEND

- FOUND SECTION CORNER AS NOTED
- 1 SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
- FOUND CHISELED PLUS
- 1 FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
- 2 FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38256"
- 3 FOUND NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 28286"
- (ROW) RIGHT-OF-WAY
- (##) BLOCK NUMBER
- XXXXX RECORD BEARING AND DISTANCE

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°02'50"E	13.70'
L2	S24°08'31"E	19.61'
L3	S18°24'02"E	40.85'
L4	S00°34'48"W	29.91'
L5	S06°23'06"W	122.58'
L6	S00°59'32"E	42.07'
L7	S04°22'13"E	39.30'
L8	S11°32'30"E	65.54'
L9	S00°03'14"W	33.37'
L10	S89°01'18"W	30.00'
L11	N89°01'18"E	30.00'
L12	N00°58'42"W	75.03'
L13	N00°58'42"W	76.88'
L14	S00°04'01"E	20.00'
L15	N89°55'59"E	90.00'
L16	N00°04'01"W	20.00'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	6°19'38"	432.80'	47.80'
C2	11°35'45"	429.00'	86.82'
C3	11°35'46"	371.00'	75.09'
C4	9°31'38"	362.50'	60.28'
C5	9°31'38"	362.50'	60.28'
C6	90°54'41"	30.00'	47.60'
C7	1°20'31"	30.00'	0.70'

DATE	BY	REVISION DESCRIPTION
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FOR REVIEW

FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC

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DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 80'

SHEET 3 OF 12

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 4 OF 12

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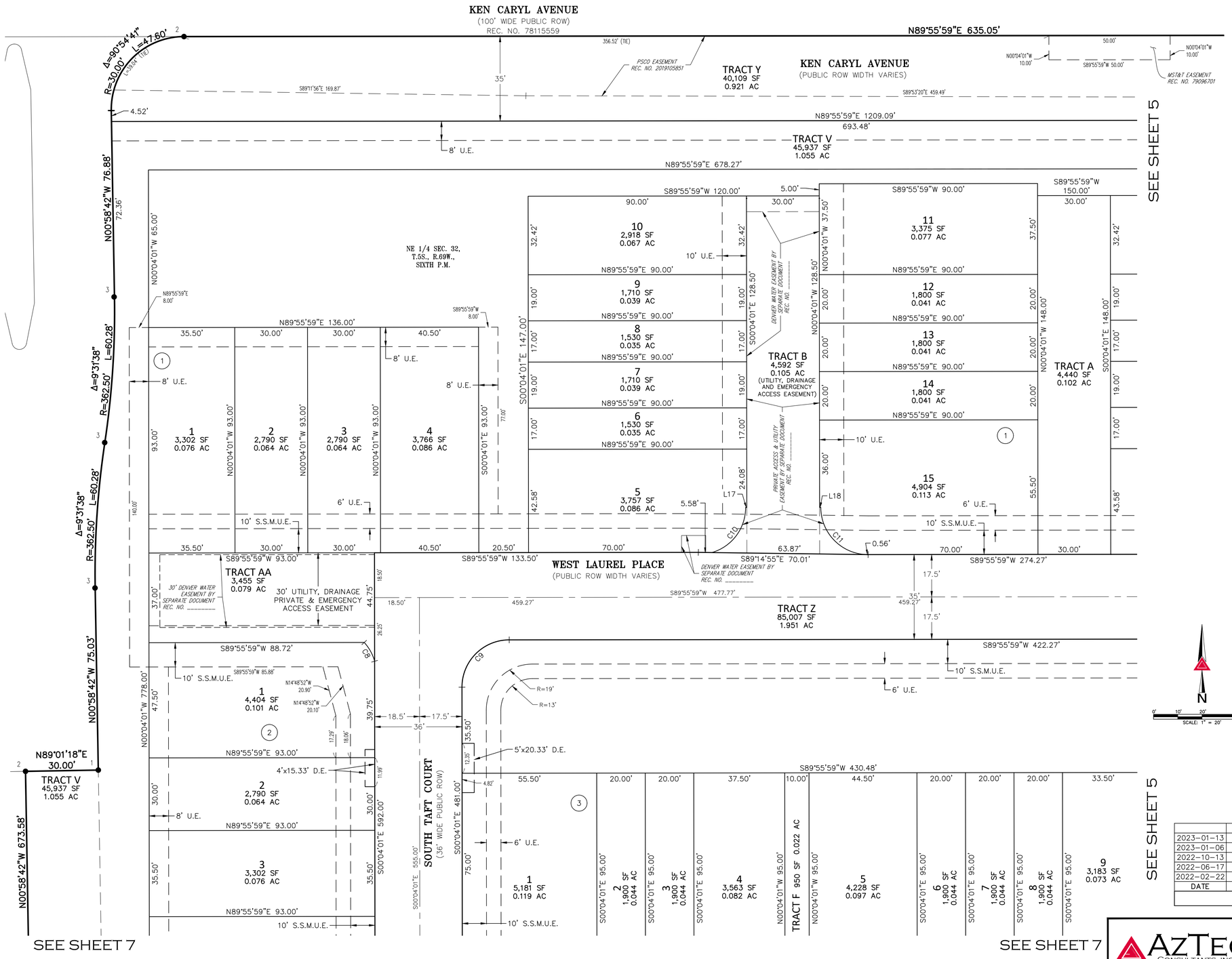

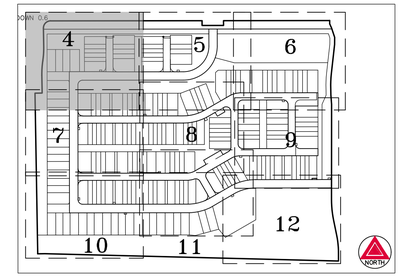

KEY MAP
SCALE: 1" = 200'

LEGEND

+	FOUND CHISELED PLUS
1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
2 ●	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38256"
3 ●	FOUND NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 28286"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER

N

SCALE: 1" = 20'

LINE TABLE		
LINE	BEARING	LENGTH
L17	S89°58'00"W	0.50'
L18	S89°55'59"W	0.50'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C8	26°56'45"	19.00'	8.94'
C9	90°00'00"	19.50'	30.63'
C10	73°56'21"	19.30'	24.91'
C11	90°00'00"	19.50'	30.63'

DATE	BY	REVISION DESCRIPTION
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DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 4 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
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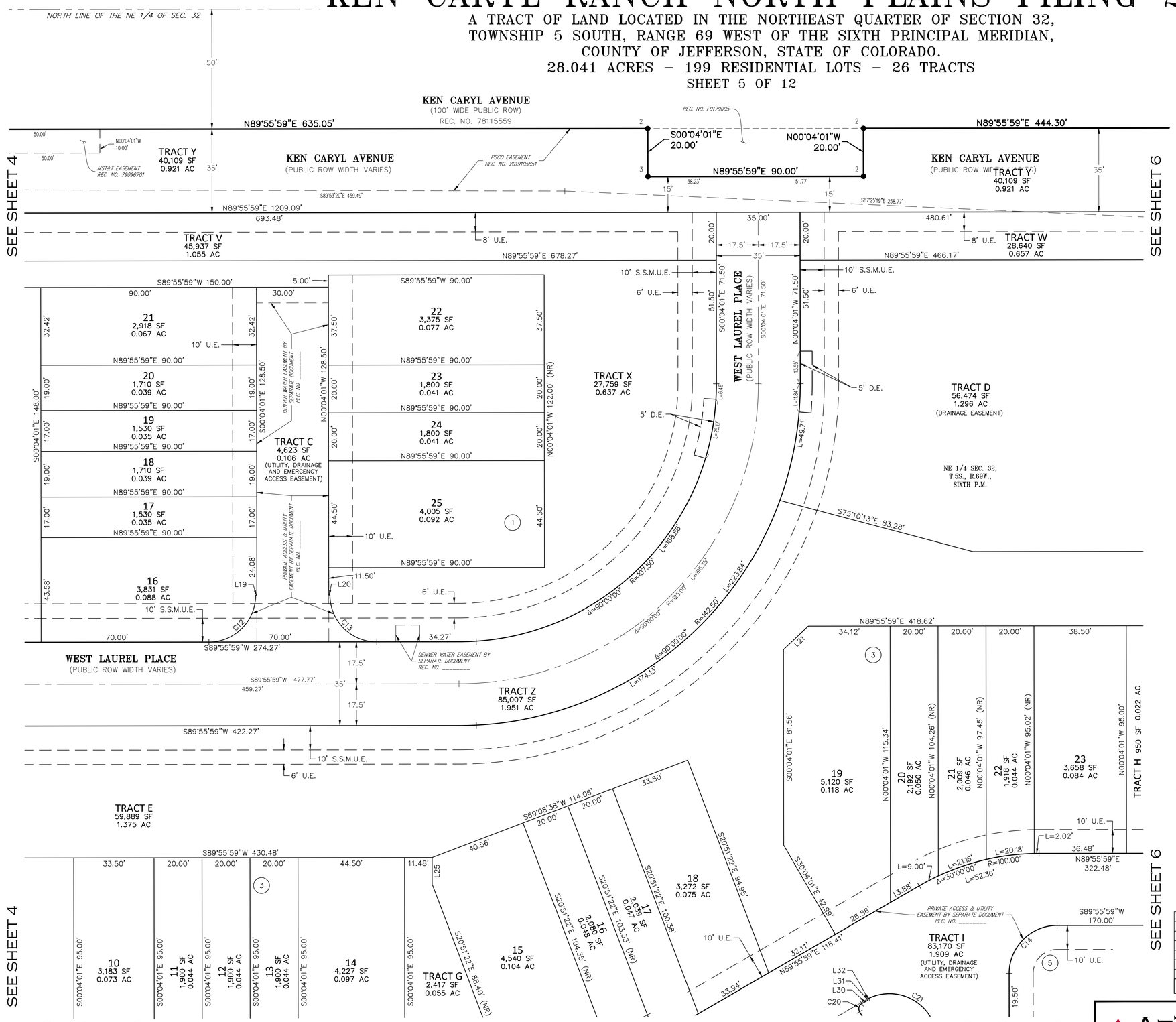
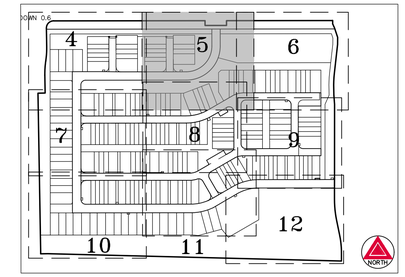
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 5 OF 12

CASE NUMBER: 21-136270PF





KEY MAP
SCALE: 1" = 200'

LEGEND

2 ●	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38256"
3 ●	FOUND NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 28286"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER
(NR)	DENOTES NOT-RADIAL

LINE TABLE		
LINE	BEARING	LENGTH
L19	S89°58'00"W	0.50'
L20	S89°55'59"W	0.50'
L21	S46°31'08"W	14.29'
L25	S00°04'01"E	11.10'
L30	N61°02'11"E	3.00'
L31	N27°07'22"W	0.53'
L32	N63°36'40"E	0.51'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C12	89°49'11"	19.53'	30.62'
C13	90°00'00"	19.50'	30.63'
C14	90°00'00"	20.00'	31.42'
C20	90°00'00"	2.50'	3.93'
C21	115°35'18"	20.00'	40.35'

DATE	BY	REVISION DESCRIPTION
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2023-01-06	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
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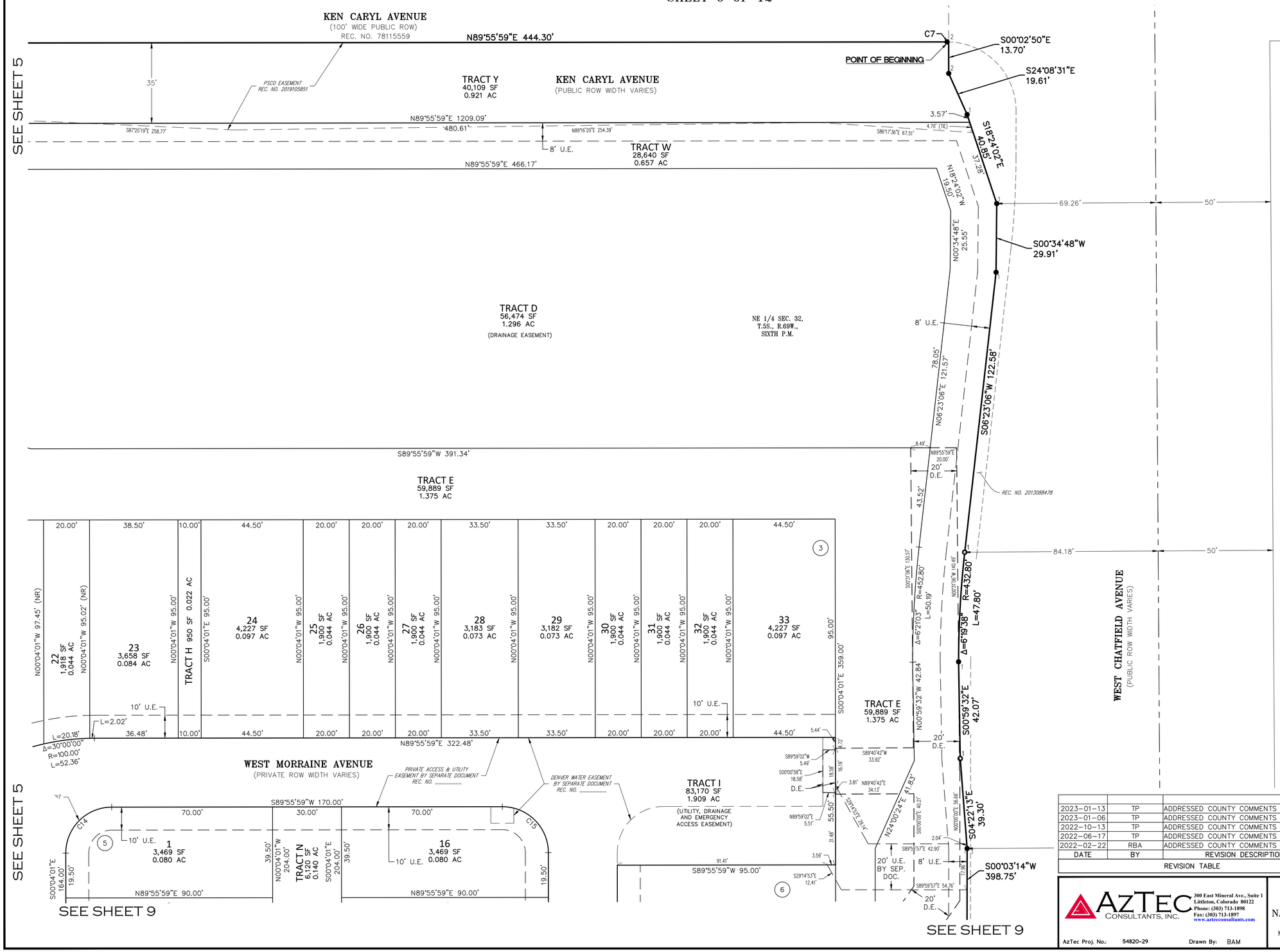
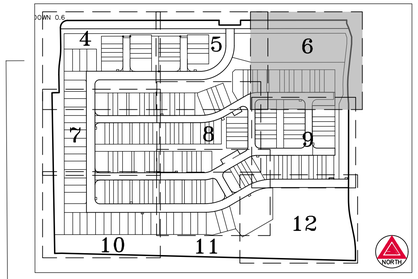
DATE OF PREPARATION: 2021-10-21
SCALE: 1" = 20'
SHEET 5 OF 12

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF JEFFERSON, STATE OF COLORADO.
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 6 OF 12

CASE NUMBER: 21-136270PF





KEY MAP
SCALE: 1" = 200'

LEGEND

1 ○	SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38636"
1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
2 ●	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38256"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
(##)	BLOCK NUMBER
(NR)	DENOTES NON-RADIAL

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C7	1°20'31"	30.00'	0.70'
C14	90°00'00"	20.00'	31.42'
C15	90°00'00"	20.00'	31.42'

N

SCALE: 1" = 20'

DATE	BY	REVISION DESCRIPTION
2023-01-13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2023-01-06	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-10-13	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-06-17	TP	ADDRESSED COUNTY COMMENTS & REVISIONS
2022-02-22	RBA	ADDRESSED COUNTY COMMENTS & REVISIONS

REVISION TABLE

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 54820-29 Drawn By: BAM

DEVELOPER
NADG KEN-CARYL RANCH LP
2851 JOHN STREET, SUITE ONE
MARKHAM, ONTARIO L3R 5R7, CANADA
905.477.9200 / WWW.NADG.COM

DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 6 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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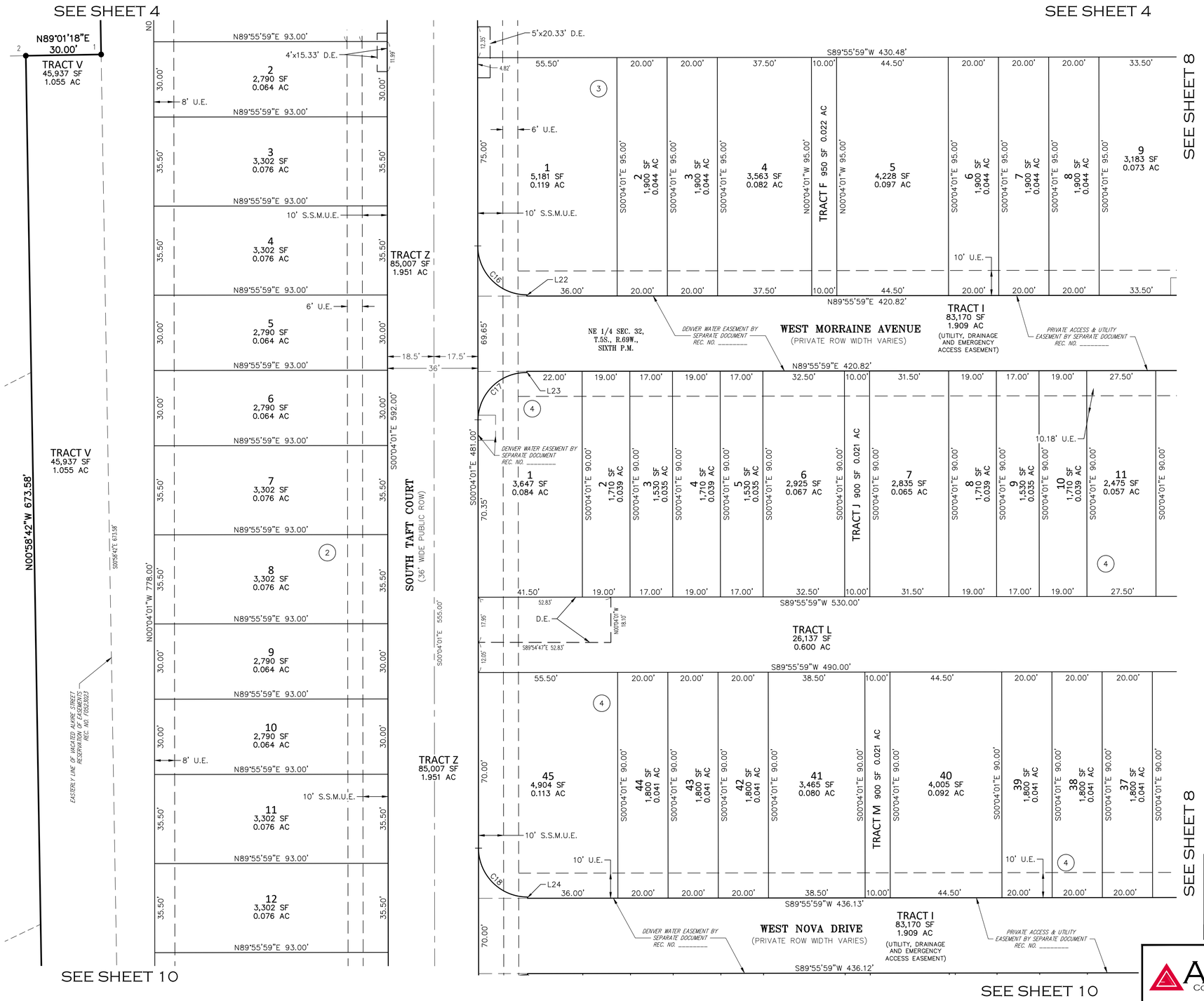
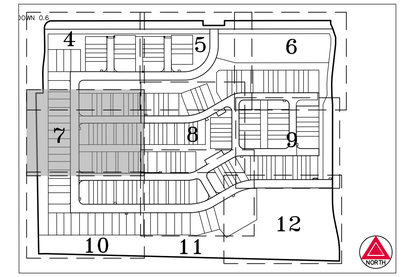
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS

CASE NUMBER: 21-136270PF





KEY MAP
SCALE: 1" = 200'

LEGEND

1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
2 ●	FOUND 1" BRASS DISK STAMPED "AZTEC PLS 38256"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER

N

0' 10' 20' 40'
SCALE: 1" = 20'

LINE TABLE		
LINE	BEARING	LENGTH
L22	S00°04'01"E	0.50'
L23	N00°03'04"W	0.50'
L24	N00°04'01"W	0.50'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C16	90°00'00"	19.50'	30.63'
C17	91°02'50"	19.15'	30.43'
C18	89°59'59"	19.50'	30.63'

DATE	BY	REVISION DESCRIPTION
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www.aztecconsultants.com

AzTec Proj. No.: 54820-29
Drawn By: BAM

DEVELOPER
NADG KEN-CARYL RANCH LP
2851 JOHN STREET, SUITE ONE
MARKHAM, ONTARIO L3R 5R7, CANADA
905.477.9200 / WWW.NADG.COM

DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 7 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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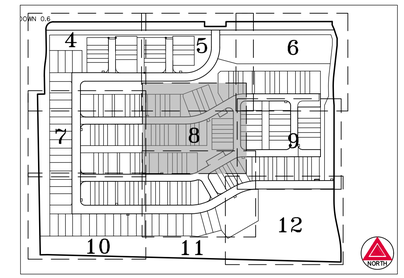
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS

CASE NUMBER: 21-136270PF



KEY MAP
SCALE: 1" = 200'

LEGEND

U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER
(NR)	DENOTES NON-RADIAL

LINE TABLE		
LINE	BEARING	LENGTH
L25	S00°04'01"E	11.10'
L26	N59°55'59"E	29.09'
L27	S30°04'01"E	0.50'
L28	S30°04'01"E	15.50'
L29	N30°04'01"W	15.50'
L30	N61°02'11"E	3.00'
L31	N27°07'22"W	0.53'
L32	N63°36'40"E	0.51'
L33	S59°55'59"W	24.23'
L34	N30°04'01"W	17.50'
L35	N30°04'01"W	0.50'
L36	S30°04'01"E	17.50'
L37	S30°04'01"E	0.50'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C14	90°00'00"	20.00'	31.42'
C19	90°00'00"	2.50'	3.93'
C20	90°00'00"	2.50'	3.93'
C21	115°35'18"	20.00'	40.35'
C22	90°00'00"	20.00'	31.42'
C23	30°00'00"	70.00'	36.65'
C24	90°00'00"	2.50'	3.93'
C25	90°00'00"	2.50'	3.93'
C31	29°59'59"	70.00'	36.65'

DATE	BY	REVISION DESCRIPTION
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SHEET 8 OF 12

KEN CARYL RANCH NORTH PLAINS FILING 2

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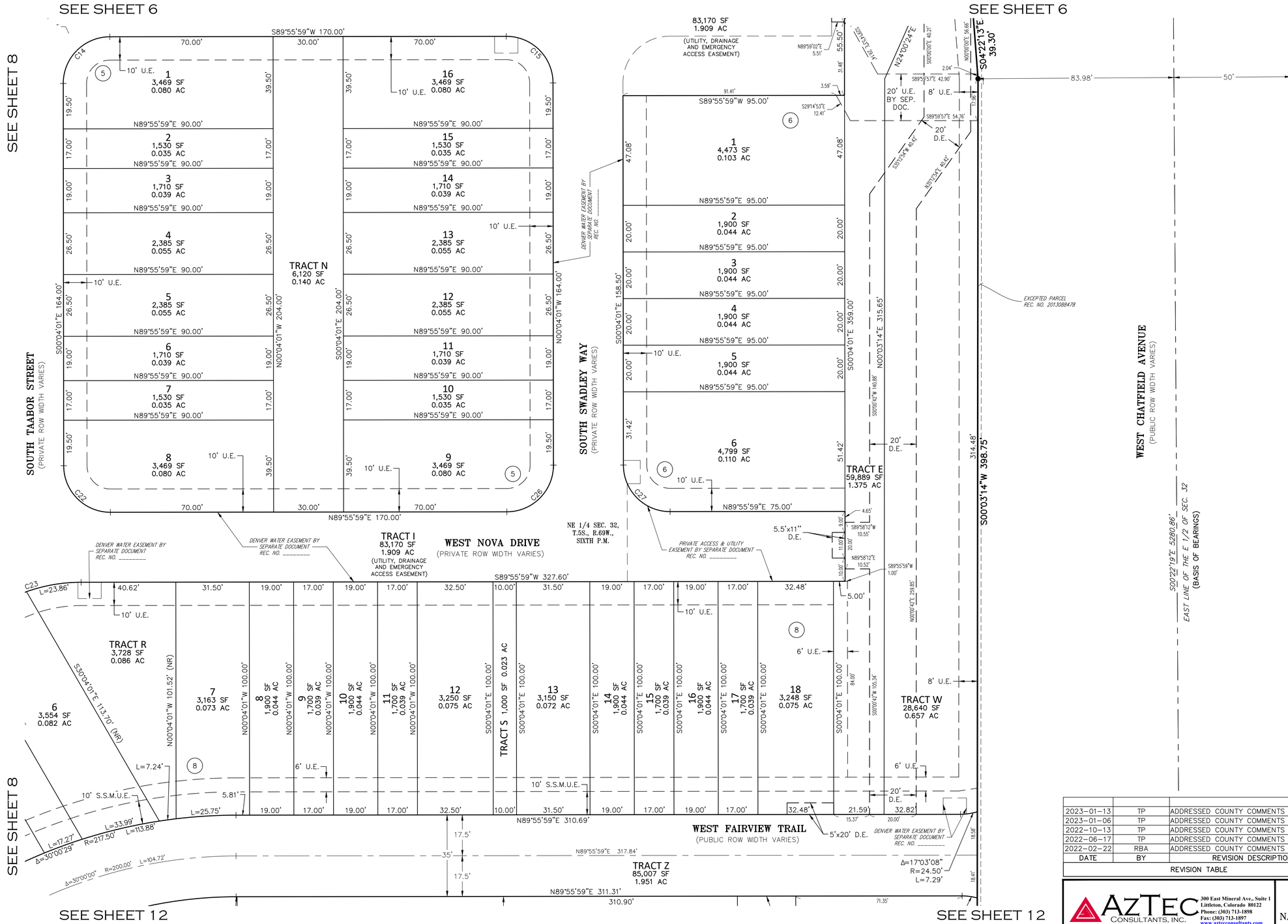
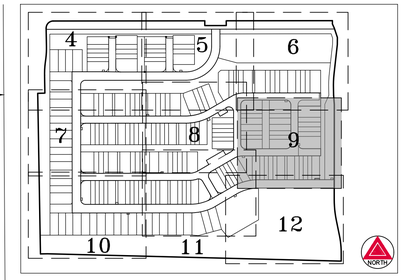
28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS
SHEET 9 OF 12

CASE NUMBER: 21-136270PF





KEY MAP
SCALE: 1" = 200'

LEGEND

1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
(##)	BLOCK NUMBER
(NR)	DENOTES NON-RADIAL

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C14	90°00'00"	20.00'	31.42'
C15	90°00'00"	20.00'	31.42'
C22	90°00'00"	20.00'	31.42'
C23	30°00'00"	70.00'	36.65'
C26	90°00'00"	20.00'	31.42'
C27	90°00'00"	20.00'	31.42'

N

0' 10' 20' 40'
SCALE: 1" = 20'

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DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 9 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
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28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS

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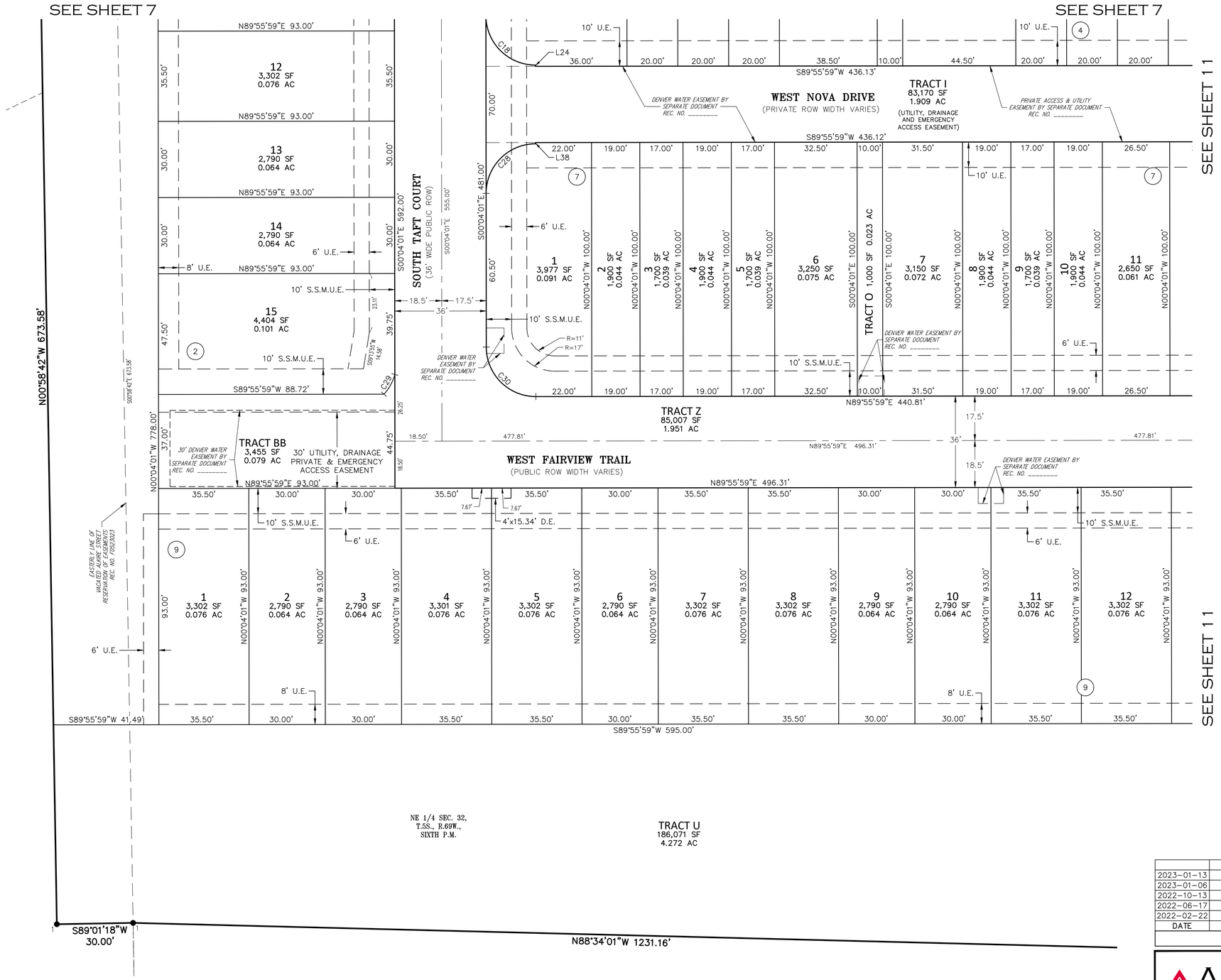

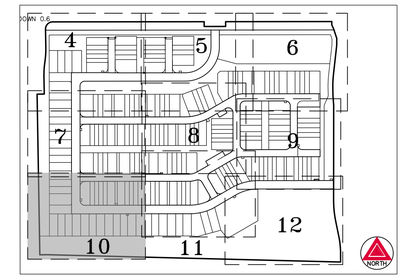

KEY MAP
SCALE: 1" = 200'

LEGEND

1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER

N

SCALE: 1" = 20'

LINE TABLE		
LINE	BEARING	LENGTH
L24	N00°04'01"W	0.50'
L38	S00°04'01"E	0.50'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C18	89°59'59"	19.50'	30.63'
C29	26°56'45"	19.00'	8.94'
C30	90°00'00"	19.50'	30.63'

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DATE OF PREPARATION:	2021-10-21
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SHEET 10 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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28.041 ACRES – 199 RESIDENTIAL LOTS – 26 TRACTS

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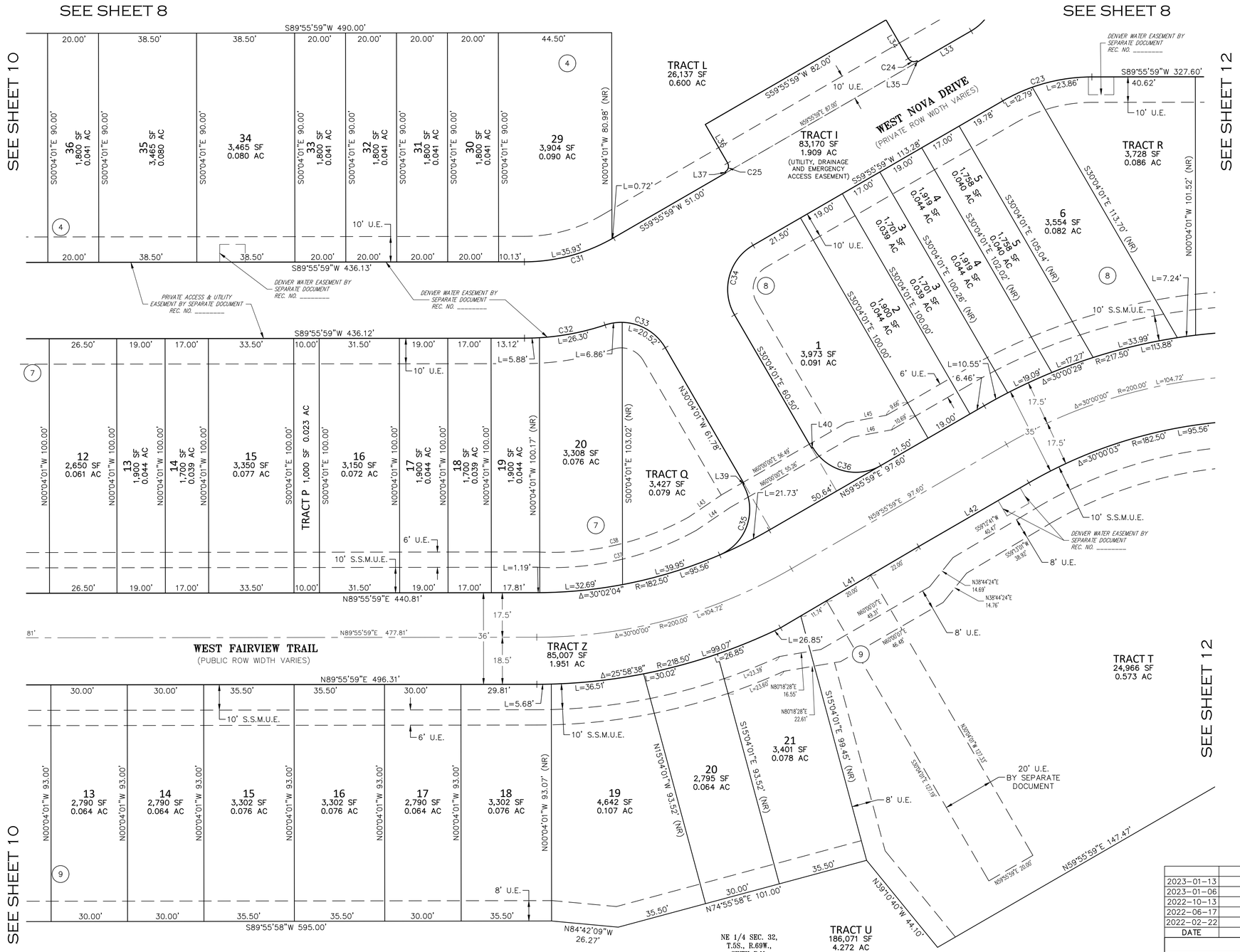
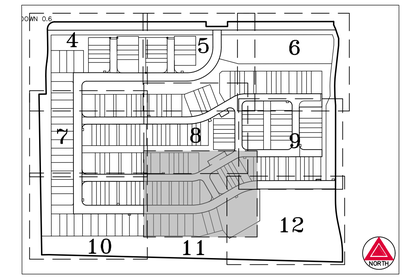
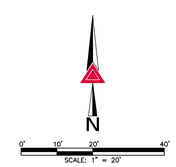




KEY MAP
SCALE: 1" = 200'



LEGEND

(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
(##)	BLOCK NUMBER
(NR)	DENOTES NON-RADIAL

LINE TABLE

LINE	BEARING	LENGTH
L33	S59°55'59"W	24.23'
L34	N30°04'01"W	17.50'
L35	N30°04'01"W	0.50'
L36	S30°04'01"E	17.50'
L37	S30°04'01"E	0.50'
L39	N59°55'58"E	0.50'
L40	N59°55'59"E	0.50'
L41	S59°30'46"W	53.74'
L42	N59°55'59"E	49.96'
L43	N55°55'52"E	15.85'
L44	N55°55'52"E	15.90'
L45	N79°23'12"E	15.90'
L46	N79°23'12"E	15.90'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C23	30°00'00"	70.00'	36.65'
C24	90°00'00"	2.50'	3.93'
C25	90°00'00"	2.50'	3.93'
C31	29°59'59"	70.00'	36.65'
C32	18°26'21"	100.00'	32.18'
C33	78°26'21"	20.00'	27.38'
C34	90°00'00"	20.00'	31.42'
C35	96°49'18"	19.50'	32.95'
C36	90°00'00"	19.50'	30.63'
C37	32°00'27"	116.82'	65.26'
C38	32°00'17"	110.94'	61.97'

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DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 11 OF 12	

KEN CARYL RANCH NORTH PLAINS FILING 2

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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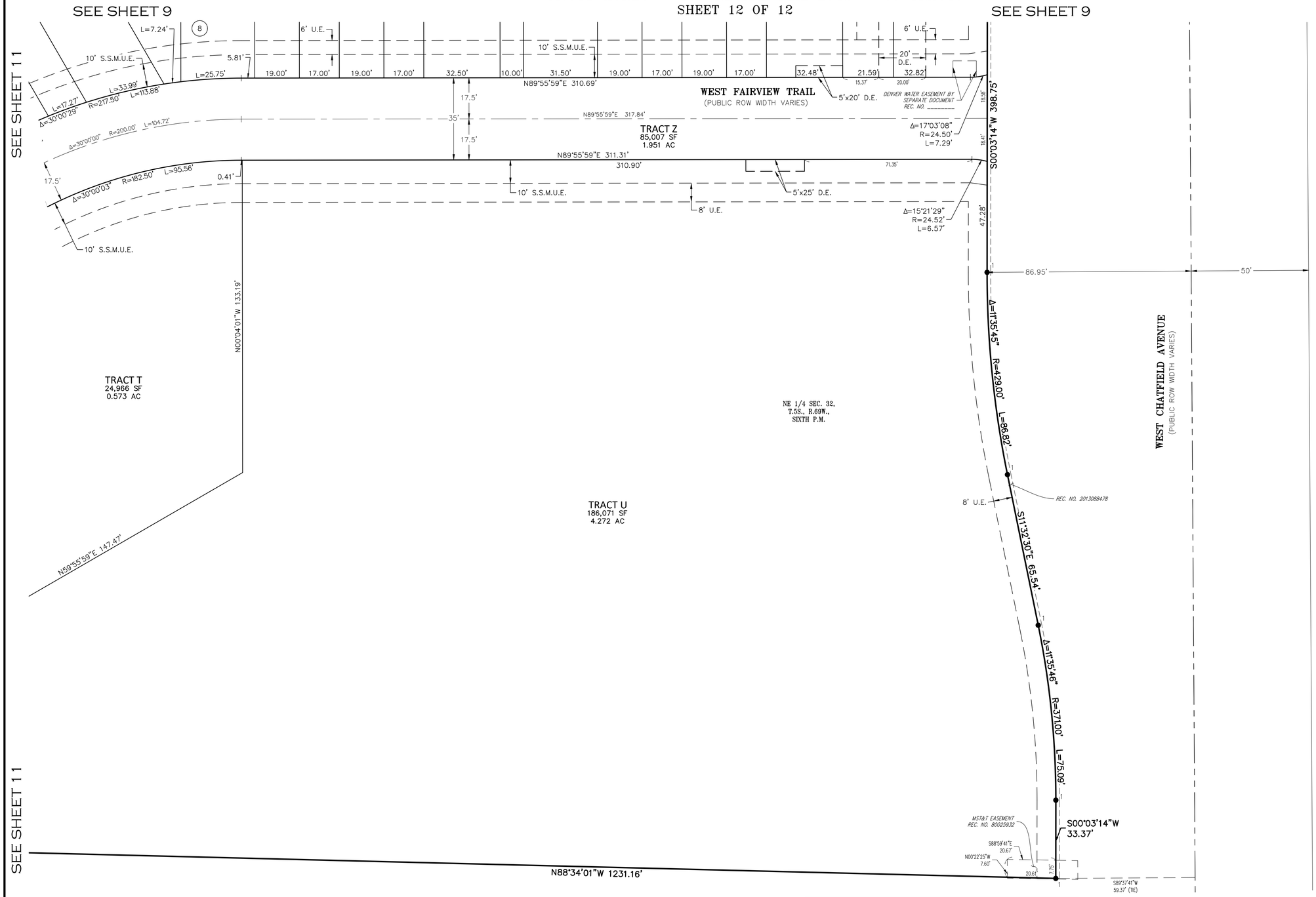
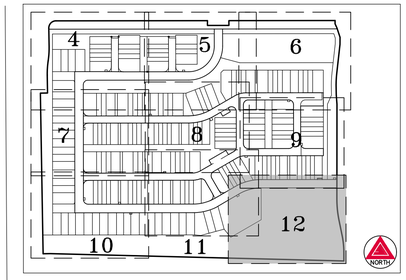
CASE NUMBER: 21-136270PF





KEY MAP
SCALE: 1" = 200'

LEGEND

1 ●	FOUND NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "AZTEC PLS 38256"
(ROW)	RIGHT-OF-WAY
S.S.M.U.E.	SIDEWALK, SIGN, MAINTENANCE AND UTILITY EASEMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
(##)	BLOCK NUMBER

N

0' 10' 20' 40'
SCALE: 1" = 20'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

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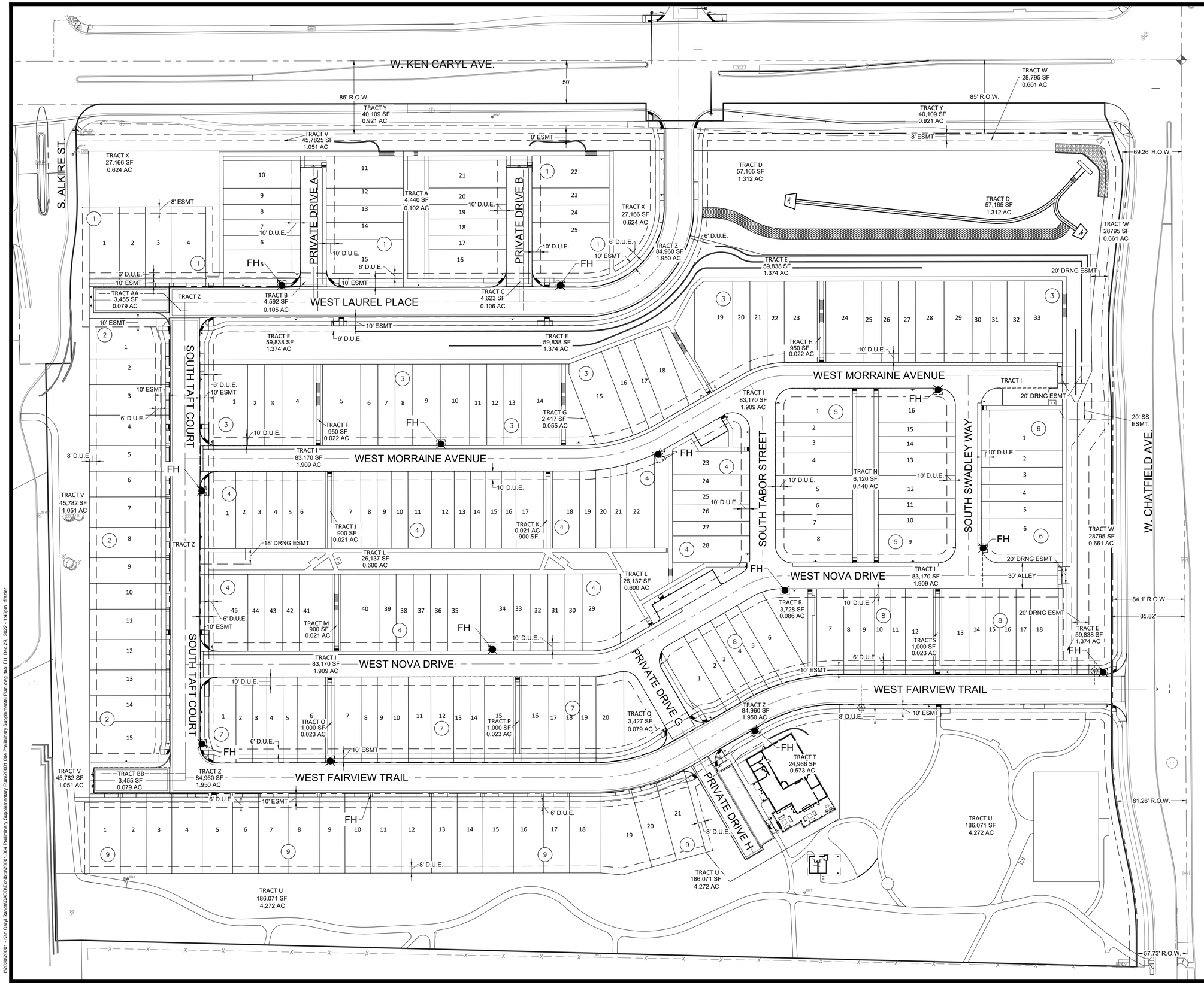
DATE OF PREPARATION:	2021-10-21
SCALE:	1" = 20'
SHEET 12 OF 12	

SUPPLEMENTAL PLAN



For Information Only

PRELIMINARY SUPPLEMENTAL DATA

A) **OWNER:**

NADG KEN-CARYL RANCH LP
2851 JOHN STREET, SUITE ONE, MARKHAM
ONTARIO L3R 5R
PHONE: 905-477-9200
EMAIL: RGREEN@NADG.COM
EMAIL: SBISHOP@NADG.COM

B) **PLAT:**

AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1, LITTLETON, COLORADO 80122
PHONE: 303-713-1898
EMAIL: TPEALL@AZTECCONSULTANTS.COM

C) TOTAL WATER DEMAND = 50,650 GPD
SERVICE PROVIDED BY KEN CARYL RANCH WATER AND SANITATION DISTRICT

D) TOTAL SEWER DEMAND = 66,100 GPD
SERVICE PROVIDED BY KEN CARYL RANCH WATER AND SANITATION DISTRICT

E) FIRE FLOW = 1,500 GPM

N

0 25 50 100

SCALE: 1" = 50'

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
5500 Ward Road, Suite 210
Littleton, Colorado 80120
REDLAND.COM

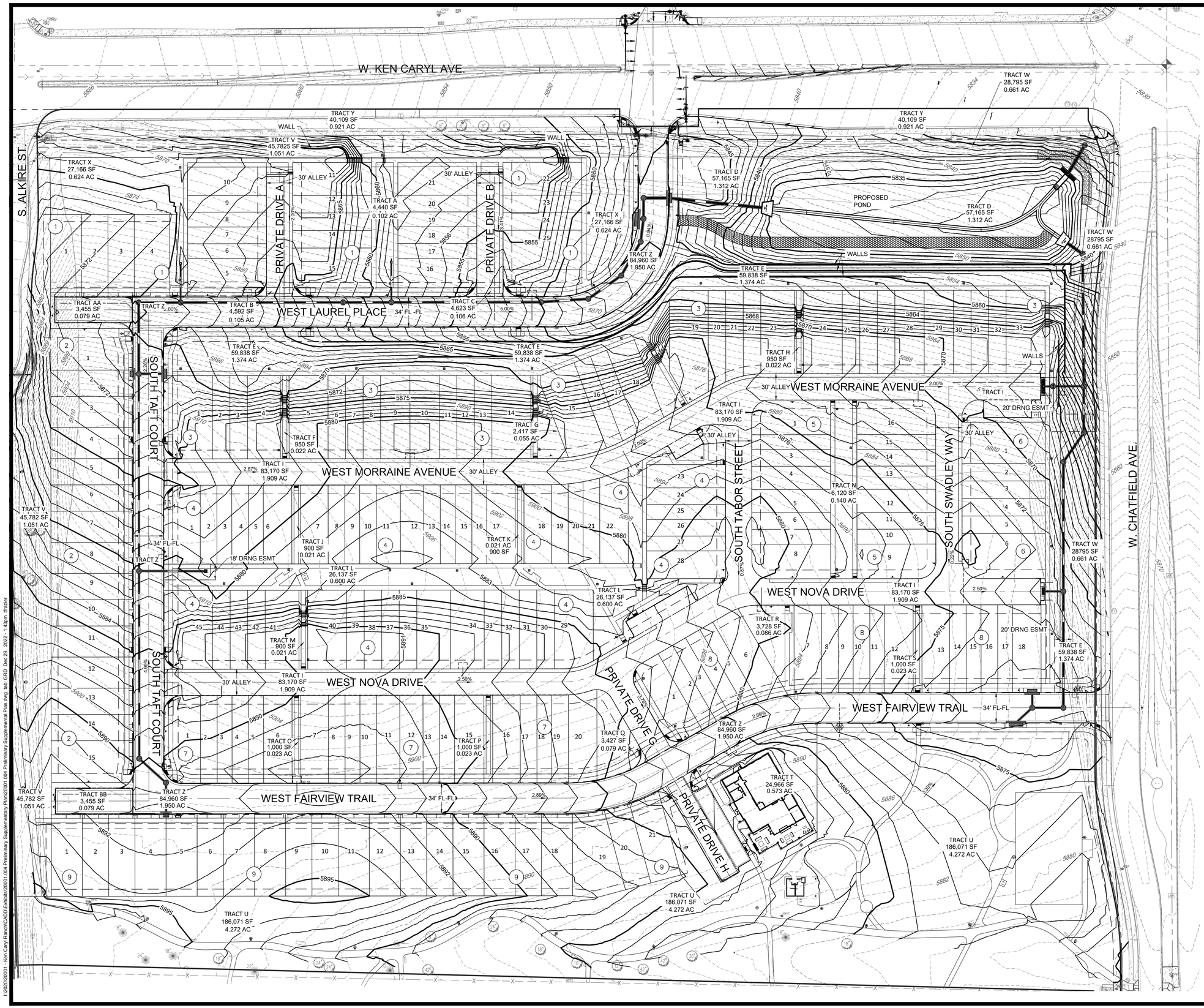
RO
TF
TF
20001.004
1" = 50'
N/A

NO.	DATE	NOTES
1	10.25.2021	Preliminary Plan
	12.28.2022	

KEN CARYL RANCH FILING 2

PRELIMINARY SUPPLEMENTAL PLAN

I:\2020\20001 - Ken Caryl Ranch\CADD\Exhibits\20001.004 Preliminary Supplementary Plan\20001.004 Preliminary Supplemental Plan.dwg tab: FH Dec 29, 2022 - 1:43pm tfrazier



PRELIMINARY SUPPLEMENTAL DATA

A) **OWNER:**

NADG KEN-CARYL RANCH LP
2851 JOHN STREET, SUITE ONE, MARKHAM
ONTARIO L3R 5R
PHONE: 905-477-9200
EMAIL: RGREEN@NADG.COM
EMAIL: SBISHOP@NADG.COM

B) **PLAT:**

AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1, LITTLETON, COLORADO 80122
PHONE: 303-713-1898
EMAIL: TPEALL@AZTECCONSULTANTS.COM

C) TOTAL WATER DEMAND = 50,650 GPD
SERVICE PROVIDED BY KEN CARYL RANCH WATER AND SANITATION DISTRICT

D) TOTAL SEWER DEMAND = 66,100 GPD
SERVICE PROVIDED BY KEN CARYL RANCH WATER AND SANITATION DISTRICT

E) FIRE FLOW = 1,500 GPM

NO SLOPES ARE ANTICIPATED TO EXCEED 3:1 (33%)

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
5500 Wadsworth Court
Littleton, Colorado 80120
REDLAND.COM

RO	
TF	
TF	
20001.004	
1" = 50'	
N/A	

NOTES

NO.		DATE
1	Preliminary Plan	10.25.2021
		12.28.2022

KEN CARYL RANCH PARCEL B

PRELIMINARY SUPPLEMENTAL PLAN

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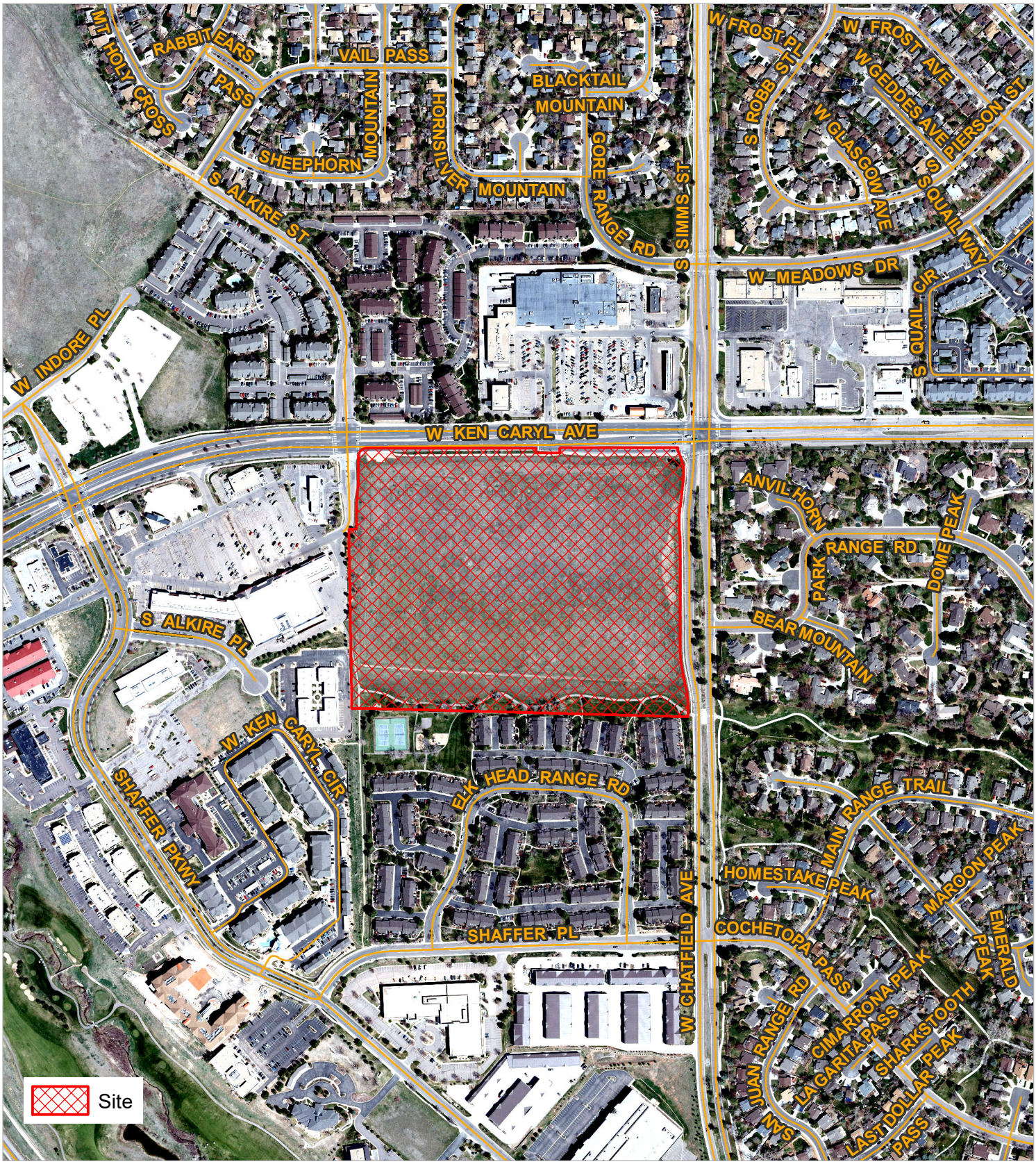
MAPS



Case Number: 21-136270PF

Location: Section 32, T5S, R69W

JEFFERSON COUNTY COLORADO

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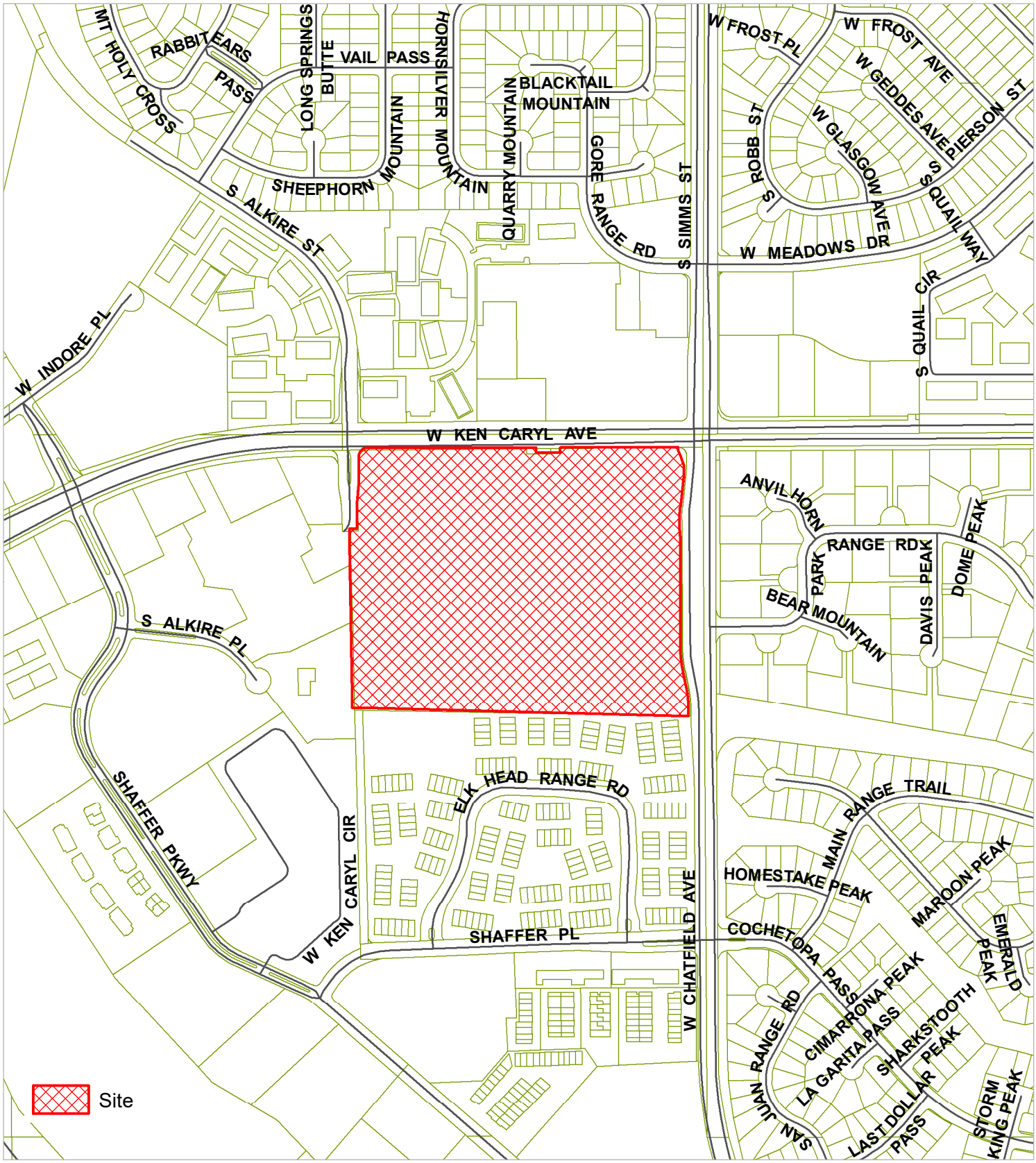
0 250 500 1,000 Feet



Case Number: 21-136270PF

Location: Section 32, T5S, R69W

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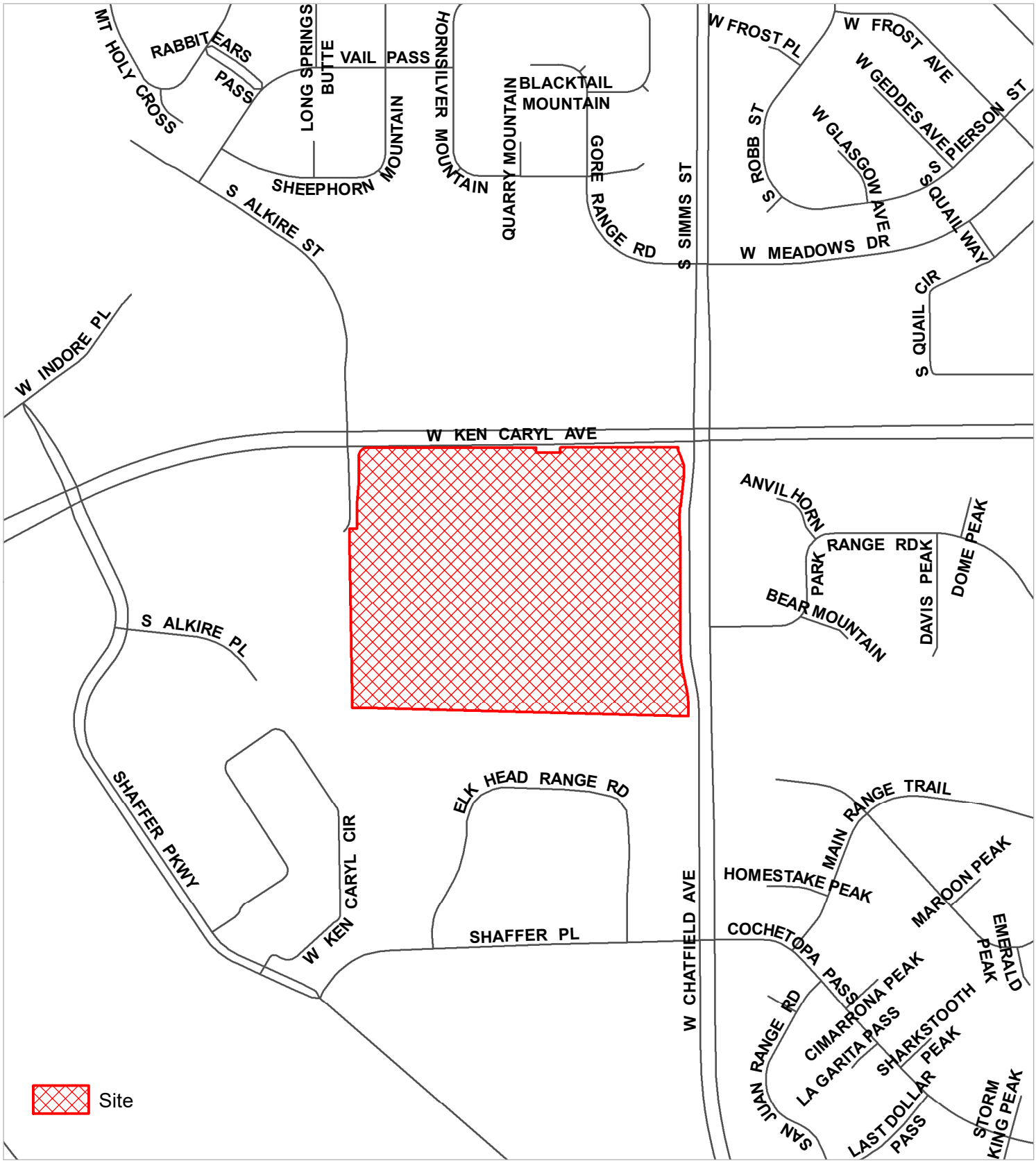
0 250 500 1,000 Feet



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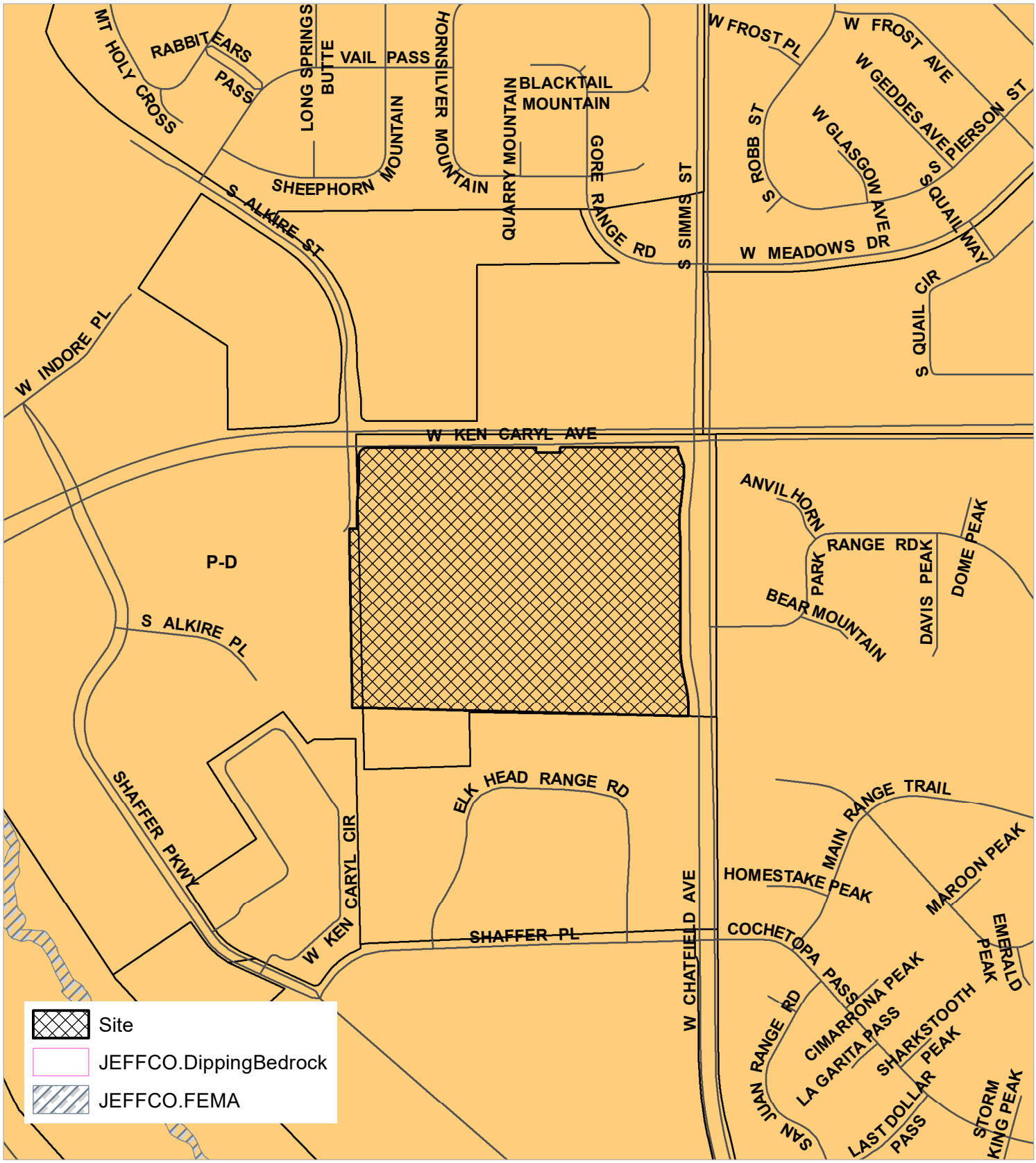
0 250 500 1,000 Feet



Case Number: 21-136270PF

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0 250 500 1,000 Feet

NOTIFICATION SUMMARY

JEFFERSON COUNTY COLORADO | Planning & Zoning Division
100 Jefferson County Parkway, Suite 3550, Golden, Colorado 80419-3550
☎ 303.271.8700 • Fax 303.271.8744 • https://jeffco.us/planning-zoning

NOTIFICATION SUMMARY

As a requirement of the Jefferson County Zoning Resolution, the following Level 1 notification was provided for this proposal.

1. Notification of this proposed development was mailed to property owners within a 500 foot radius of the site and Registered Associations located within a 1 mile radius of the site.

These radii are shown on the maps below. The initial notification was mailed at the time of the first referral. Additional notification was mailed 14 days prior to the Planning Commission Hearing identifying the scheduled hearings dates for both the Planning Commission Hearing and the Board of County Commissioners' Hearing.

2. Sign(s), identifying the dates of the Board of County Commissioners' Hearing, were provided to the applicant for posting on the site. The sign(s) were provided to the applicant with instructions that the site be posted 14 days prior to the Planning Commission Hearing.

Lists of the specific property owners and registered associations that received notification are attached to this summary.

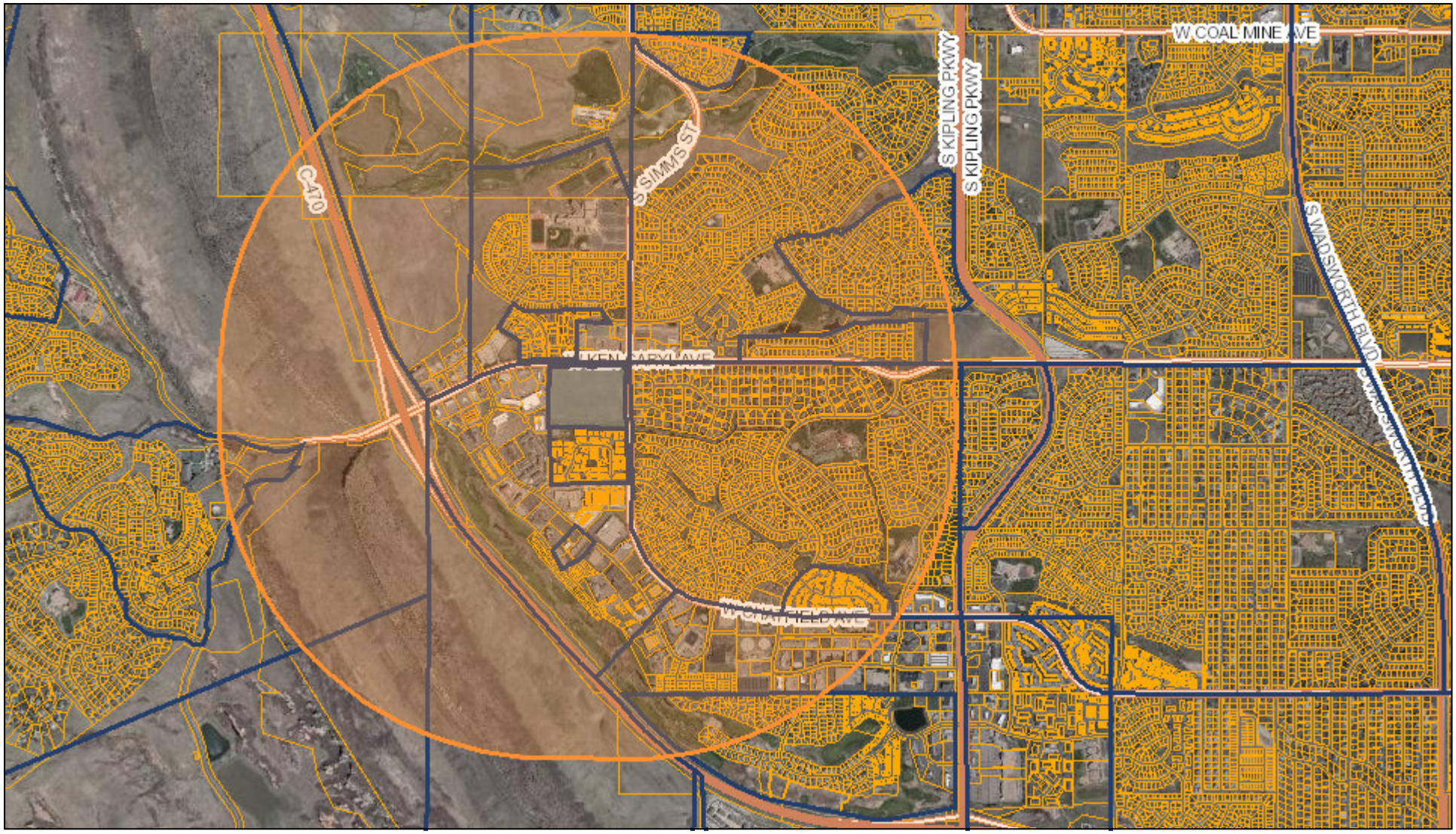
Property Owners

See Image Below

Registered Associations

See Image Below

ArcGIS Web Map



N

0 0.9 1.8 mi

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Jefferson County CO
Jefferson County Colorado

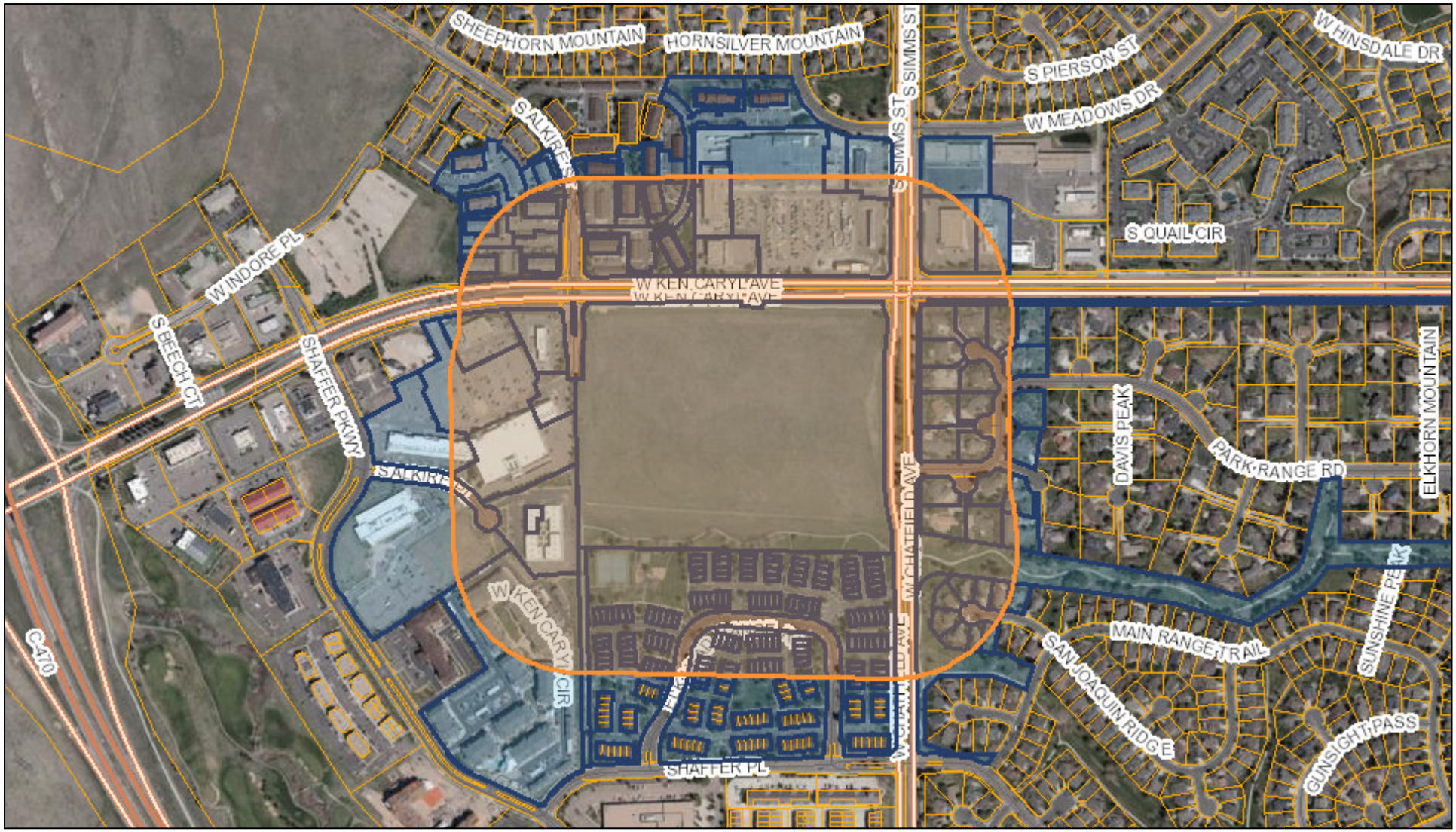
Author: ArcGIS Web AppBuilder
Date: 12/26/2022

From the Jefferson County Assessor's Office
Home Owners Associations within 1 miles of 59-321-00-007

Subject Properties
Owner
NADG KEN CARYL RANCH 2 LP

19 HOA within 1 miles of subject properties
HOA Name
CHATFIELD BLUFFS Condominiums
COHOPE
DUTCH RIDGE HOA
EAGLE VIEW HOA
JEFFERSON CORPORATE CENTER OWNERS ASSN
JEFFERSON COUNTY HORSE COUNCIL
KEN CARYL OFFICE PARK ASSN
KEN CARYL RANCH MASTER ASSN
KEN CARYL RANCH METRO DIST
MEADOW RANCH MASTERS ASSN
MEADOWS SANCTUARY
MOUNTAIN GATE AT KEN-CARYL CONDO ASSN
PLAN JEFFCO
SETTLEMENT TOWNHOMES
SHAFFER GREENS PROPERTY OWNERS ASSOCIATION
STONY CREEK 6 HOA
SUNSET RIDGE TOWNHOUSE ASSN
WILLIAMSBURG II
WILLOWBROOK ASSN

ArcGIS Web Map



N

0 0.2 0.4 mi

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Jefferson County CO
Jefferson County Colorado

Author: ArcGIS Web AppBuilder
Date: 12/26/2022

Owner	Mail Address
NADG KEN CARYL RANCH 2 LP	2851 JOHN ST
MEADOWS PLAZA RETAIL RLLP	1888 SHERMAN ST 500
WHW 2 PARTNERSHIP	300 WILMOT RD
BOLTHOUSE LAND COMPANY LLC	4605 BUENA VISTA RD 600
MOUNTAIN GATE AT KEN CARYL III CONDO ASSO	5619 DTC PKWY 900
MTN GATE AT KEN CARYL III CONDO ASSN INC	1580 LINCOLN ST 770
CURRENT RESIDENT	9528 ELK MOUNTAIN CIR
CURRENT RESIDENT	7429 S ALKIRE ST 104
CURRENT RESIDENT	7429 S ALKIRE ST UNIT 106
CURRENT RESIDENT	7429 S ALKIRE ST 105
CURRENT RESIDENT	7429 S ALKIRE ST 103
CURRENT RESIDENT	7429 S ALKIRE ST 101
CURRENT RESIDENT	2578 S XENOPHON ST
CURRENT RESIDENT	7429 S ALKIRE ST 204
CURRENT RESIDENT	7429 S ALKIRE ST 206
CURRENT RESIDENT	7429 S ALKIRE ST 205
CURRENT RESIDENT	7429 S ALKIRE ST
CURRENT RESIDENT	7429 S ALKIRE ST 302
CURRENT RESIDENT	4400 S QUEBEC ST 202
CURRENT RESIDENT	7429 S ALKIRE ST 306
CURRENT RESIDENT	7429 S ALKIRE ST 305
CURRENT RESIDENT	1724 W 34TH AVE
CURRENT RESIDENT	2261 BLAKE ST 4C
CURRENT RESIDENT	5011 S INDEPENDENCE CT
CURRENT RESIDENT	7435 S ALKIRE ST
CURRENT RESIDENT	12194 W AUBURN DR
CURRENT RESIDENT	10757 W ROXBURY AVE
CURRENT RESIDENT	10635 ASHWOOD CT
CURRENT RESIDENT	4650 E AMHERST AVE
CURRENT RESIDENT	8120 S SAN JUAN RANGE RD
CURRENT RESIDENT	7435 S ALKIRE ST 202
CURRENT RESIDENT	11 MOUNTAIN CEDAR LN
CURRENT RESIDENT	7435 S ALKIRE ST 203
CURRENT RESIDENT	7435 S ALKIRE ST 205
CURRENT RESIDENT	7435 S ALKIRE ST 306
CURRENT RESIDENT	7435 S ALKIRE ST UNIT 304
CURRENT RESIDENT	7435 S ALKIRE ST 302
CURRENT RESIDENT	4339 S YOUNGFIELD ST
CURRENT RESIDENT	7436 S ALKIRE ST 303
CURRENT RESIDENT	7435 S ALKIRE ST 305
CURRENT RESIDENT	7927 S CLAYTON CIR
CURRENT RESIDENT	7459 S ALKIRE ST 104
CAROL A FORNEY REVOCABLE TRUST	7459 S ALKIRE ST 106
RHYNARD FAMILY TRUST	7459 S ALKIRE ST 105
MESSERLY CAROLYN H	7459 S ALKIRE ST 103
CURRENT RESIDENT	7459 S ALKIRE ST 101

CURRENT RESIDENT	7459 S ALKIRE ST APT 202
CURRENT RESIDENT	7681 SHAFFER PKWY B
CURRENT RESIDENT	5301 E ASPEN AVE
CURRENT RESIDENT	7459 S ALKIRE ST 205
CURRENT RESIDENT	7459 S ALKIRE ST 203
CURRENT RESIDENT	7459 ALKIRE ST 201
CURRENT RESIDENT	7459 S ALKIRE ST 302
CURRENT RESIDENT	15 WHITE OAK DR
CURRENT RESIDENT	7459 S ALKIRE RDG 306
CURRENT RESIDENT	7459 S ALKIRE ST 305
CURRENT RESIDENT	7459 S ALKIRE ST 303
CURRENT RESIDENT	3818 ATTU DR
CURRENT RESIDENT	7489 S ALKIRE ST 101
JANICE MARIE FORBES TRUST	7489 S ALKIRE ST 102
CURRENT RESIDENT	24315 W CAMELOT RD
CURRENT RESIDENT	7489 S ALKIRE ST
CURRENT RESIDENT	7489 S ALKIRE ST 105
CURRENT RESIDENT	7489 S ALKIRE ST 106
RINGNECK PROPERTIES LLC	12848 W ILIFF AVE
CURRENT RESIDENT	7489 S ALKIRE ST 202
CURRENT RESIDENT	7489 S ALKIRE ST 203
CURRENT RESIDENT	444 INCA ST
CURRENT RESIDENT	7489 S ALKIRE ST 206
CURRENT RESIDENT	7489 S ALKIRE ST 301
CURRENT RESIDENT	2602 S BRENTWOOD CT
CURRENT RESIDENT	7489 S ALKIRE ST UNIT 303
CURRENT RESIDENT	7489 S ALKIRE ST 304
CURRENT RESIDENT	7489 S ALKIRE ST 305
CURRENT RESIDENT	7489 S ALKIRE ST 306
CURRENT RESIDENT	10828 GREYCLIFFE DR
CURRENT RESIDENT	7479 S ALKIRE ST 102
CURRENT RESIDENT	7479 S ALKIRE ST 103
CURRENT RESIDENT	7479 S ALKIRE ST 104
CURRENT RESIDENT	20308 E 52ND AVE
CURRENT RESIDENT	8815 S MINERS DR
CURRENT RESIDENT	7479 S ALKIRE ST 201
CURRENT RESIDENT	7479 S ALKIRE ST 202
7479 SOUTH ALKIRE STREET 203 TRUST	7431 E STATE ST 162
CURRENT RESIDENT	7479 S ALKIRE ST 204
MITCHELL SLOAN LLC	7638 S LOCUST ST
CURRENT RESIDENT	7479 S ALKIRE ST 206
CURRENT RESIDENT	7479 S ALKIRE ST 301
CURRENT RESIDENT	7479 S ALKIRE ST UNIT 302
CURRENT RESIDENT	7105 NE KLICKITAT ST
CURRENT RESIDENT	7479 S ALKIRE ST
CURRENT RESIDENT	11446 W FLORIDA PL
CURRENT RESIDENT	7468 S ALKIRE ST 101

WEB LLC	17605 W VIRGINIA AVE
CURRENT RESIDENT	7468 S ALKIRE ST 11-103
CURRENT RESIDENT	7468 S ALKIRE ST 104
CURRENT RESIDENT	7468 SOUTH ALKIRE STREET
CURRENT RESIDENT	7468 S ALKIRE ST 106
CURRENT RESIDENT	5327 S LIVERPOOL WAY
CURRENT RESIDENT	4592 W ABERDEEN PL
CURRENT RESIDENT	7468 S ALKIRE ST 201
CURRENT RESIDENT	16628 CR 18.5
CURRENT RESIDENT	7468 S ALKIRE ST
CURRENT RESIDENT	9752 W FREMONT PL
CURRENT RESIDENT	9577 S PLYMOUTH AVE
CURRENT RESIDENT	7468 S ALKIRE ST 206
CURRENT RESIDENT	7468 S ALKIRE ST 207
CURRENT RESIDENT	7468 S ALIKERE ST #208
CURRENT RESIDENT	7468 S ALKIRE ST 301
CURRENT RESIDENT	7468 S ALKIRE ST 302
CURRENT RESIDENT	7468 S ALKIRE ST 303
CURRENT RESIDENT	7468 S ALKIRE ST 304
CURRENT RESIDENT	7468 S ALKIRE ST 306
CURRENT RESIDENT	11208 W DUMBARTON DR
TONY J WILLEMSE REVOCABLE TRUST	1533 S YANK ST
MOUNTAIN GATE AT KEN CARYL CONDOMINIUM	7369 GORE RANGE RD
CURRENT RESIDENT	11707 W KEN CARYL AVE
KKG IV LIMITED LIABILITY COMPANY	5211 S QUEBEC ST
FIRSTBANK OF SOUTH JEFFCO	PO BOX 150097
CURRENT RESIDENT	1014 VINE ST 7TH FLOO
JEFFCO P&Z; ATTN: NATHAN SEYMOUR	100 JEFFERSON COUNTY PKWY, STE 355
CURRENT RESIDENT	7474 S ALKIRE ST
CURRENT RESIDENT	PO BOX 27624
CURRENT RESIDENT	7474 S ALKIRE ST 103
CURRENT RESIDENT	7474 S ALKIRE ST 104
CURRENT RESIDENT	7474 S ALKIRE ST 105
CURRENT RESIDENT	7474 S ALKIRE ST 106
CURRENT RESIDENT	7474 S ALKIRE ST 201
CURRENT RESIDENT	7474 S ALKIRE ST 203
T S MIGAKI LIVING TRUST	5200 W PRINCETON DR
LAVONNE J PERKINS TRUST	7474 S ALKIRE ST 205
CURRENT RESIDENT	7474 S ALKIRE ST 206
CURRENT RESIDENT	7474 S ALKIRE ST 301
CURRENT RESIDENT	7474 S ALKIRE ST 302
CURRENT RESIDENT	7474 S ALKIRE ST 303
CURRENT RESIDENT	7474 S ALKIRE ST 304
CURRENT RESIDENT	7474 S ALKIRE ST 305
CURRENT RESIDENT	7474 S ALKIRE ST 306
CURRENT RESIDENT	7498 S ALKIRE ST 101
CURRENT RESIDENT	7498 S ALKIRE ST 102

CURRENT RESIDENT	7498 S ALKIRE ST 104
CURRENT RESIDENT	7498 S ALKIRE ST 105
CURRENT RESIDENT	7498 S ALKIRE ST 106
CURRENT RESIDENT	7498 S ALKIRE ST 201
CURRENT RESIDENT	PO BOX 76
CURRENT RESIDENT	10178 SEVERN LN
CURRENT RESIDENT	7498 S ALKERE ST #205
CURRENT RESIDENT	7251 S JERSEY CT
CURRENT RESIDENT	7498 S ALKIRE ST 301
CURRENT RESIDENT	18 BUCKTHORN DR
CURRENT RESIDENT	11904 N ALCORN ST
CURRENT RESIDENT	7498 S ALKIRE ST
CURRENT RESIDENT	21100 N TURKEY CREEK RD
CURRENT RESIDENT	7498 S ALKIRE ST 306
CURRENT RESIDENT	7454 S ALKIRE ST 101
CURRENT RESIDENT	10240 W MONTGOMERY AVE
CURRENT RESIDENT	7454 S ALKIRE ST 104
JOHN AND VALARIE BREHM TRUST	42 MOUNTAIN PINE DR
ANIMAUX LLC	5987 SANDROCK DR
CURRENT RESIDENT	7454 S ALKIRE ST 201
CURRENT RESIDENT	7454 S ALKIRE ST 202
CURRENT RESIDENT	PO BOX 151140
CURRENT RESIDENT	7454 S ALKIRE ST 204
CURRENT RESIDENT	7454 S ALKIRE ST 205
CURRENT RESIDENT	7454 S ALKIRE ST 206
CURRENT RESIDENT	8370 LIGHTENING VIEW DR
CURRENT RESIDENT	7454 S ALKIRE ST 302
CURRENT RESIDENT	7454 S ALKIRE ST 303
CURRENT RESIDENT	75 N RANCH RD
CURRENT RESIDENT	7454 S ALKIRE ST 305
CURRENT RESIDENT	7454 S ALKIRE ST 306
MOUNTAIN GATE AT KEN CARYL II CONDO ASSN	PO BOX 270487
KEN CARYL RANCH MASTER ASSOCIATION	7676 S CONTINENTAL DIVIDE RD
KEN CARYL RANCH TOWNHOUSE ASSOCIATION	27 INVERNESS DR E
CURRENT RESIDENT	11643 ELK HEAD RANGE RD
CURRENT RESIDENT	11645 ELK HEAD RANGE RD
CURRENT RESIDENT	11878 W COOPER DR
CURRENT RESIDENT	11635 ELK HEAD RANGE RD
CURRENT RESIDENT	11633 ELK HEAD RANGE RD
CURRENT RESIDENT	11631 ELK HEAD RANGE RD
CURRENT RESIDENT	11649 ELK HEAD RANGE RD
CURRENT RESIDENT	11651 ELK HEAD RANGE RD
CURRENT RESIDENT	11653 ELK HEAD RANGE RD
CURRENT RESIDENT	11655 ELK HEAD RANGE RD
CURRENT RESIDENT	11657 ELK HEAD RANGE RDG
CURRENT RESIDENT	PO BOX 271870
CURRENT RESIDENT	2 SUMMIT ASH

CURRENT RESIDENT	11669 ELK HEAD RANGE RD
CURRENT RESIDENT	1667 ELK HEAD RANGE RD
CURRENT RESIDENT	11665 ELK HEAD RANGE RD
CURRENT RESIDENT	11663 ELK HEAD RANGE RD
CURRENT RESIDENT	4 PINYON PINE RD
CURRENT RESIDENT	11673 ELK HEAD RANGE RD
CURRENT RESIDENT	11675 ELK HEAD RANGE RD
CURRENT RESIDENT	14240 E 104TH AVE #207
CURRENT RESIDENT	11679 ELK HEAD RANGE RD
CURRENT RESIDENT	11681 ELK HEAD RANGE RD
CURRENT RESIDENT	DE PONT ROYAL
CURRENT RESIDENT	11695 ELK HEAD RD
CURRENT RESIDENT	11693 ELK HEAD RANGE RD
CURRENT RESIDENT	11691 ELK HEAD RANGE RD
CURRENT RESIDENT	6442 S XENON CT
CURRENT RESIDENT	11687 ELK HEAD RANGE RD
CURRENT RESIDENT	11685 ELK HEAD RANGE RD
CURRENT RESIDENT	11703 ELK HEAD RANGE RD
CURRENT RESIDENT	11705 ELK HEAD RANGE RD
CURRENT RESIDENT	11707 ELK HEAD RANGE RD
CURRENT RESIDENT	11709 ELK HEAD RANGE RD
CURRENT RESIDENT	11816 ELK HEAD RANGE RD
CURRENT RESIDENT	11713 ELK HEAD RANGE RD
CURRENT RESIDENT	11715 ELK HEAD RIDGE RD
CURRENT RESIDENT	11717 ELK HEAD RANGE RD
CURRENT RESIDENT	11727 ELK HEAD RANGE RD
CURRENT RESIDENT	11725 ELK HEAD RANGE RD
CURRENT RESIDENT	11723 ELK HEAD RANGE RD
JOHNSON & THOMAS FAMILY TRUST	11721 ELK HEAD RANGE RD
CURRENT RESIDENT	11731 ELK HEAD RANGE RD
CURRENT RESIDENT	11733 ELK HEAD RANGE RD
CURRENT RESIDENT	6932 S MILLER ST
CURRENT RESIDENT	11737 ELK HEAD RANGE RD
CURRENT RESIDENT	11739 ELK HEAD RANGE RD
CURRENT RESIDENT	11741 ELK HEAD RANGE RD
CURRENT RESIDENT	11743 ELK HEAD RANGE RD
CURRENT RESIDENT	7461 S LEE WAY
NURV LTD	2205 W 136TH AVE #106-132
CURRENT RESIDENT	11757 ELK HEAD RANGE RD
CURRENT RESIDENT	11755 ELK HEAD RANGE RD
DICKEN REVOCABLE LIVING TRUST	1317 W FOOTHILL BLVD 245
CURRENT RESIDENT	11751 ELK HEAD RANGE RD
CURRENT RESIDENT	11773 ELK HEAD RANGE RD
CURRENT RESIDENT	11775 ELK HEAD RANGE RD
CURRENT RESIDENT	11777 ELK HEAD RANGE RD
CURRENT RESIDENT	11779 ELK HEAD RANGE RD
CURRENT RESIDENT	11787 ELK HEAD RANGE RD

CURRENT RESIDENT	11785 ELK HEAD RANGE RD
CURRENT RESIDENT	11783 ELK HEAD RANGE RD
SUNSET PROPERTY GROUP LLC	2154 HERITAGE LOOP
CURRENT RESIDENT	11761 ELK HEAD RANGE RD
THERESA L MURPHY REVOCABLE LIVING TRUST	PO BOX 270348
CURRENT RESIDENT	11765 ELK HEAD RANGE RD
ELEGANT EQUINE LLC	25587 CONIFER RD
CURRENT RESIDENT	11769 ELK HEAD RANGE RD
CURRENT RESIDENT	11771 ELK HEAD RANGE RD
CURRENT RESIDENT	11801 ELK HEAD RANGE RD
CURRENT RESIDENT	11803 ELK HEAD RANGE RD
CURRENT RESIDENT	8670 S ZEPHYR ST
RICHARD DEGRANDE LIVING TRUST	11807 ELK HEAD RAND RD
CURRENT RESIDENT	11809 ELK HEAD RANGE RD BLD 10 #
ELK HEAD 11821 LLC	10821 W INDORE DR
CURRENT RESIDENT	11823 ELK HEAD RANGE RD
CURRENT RESIDENT	11825 ELK HEAD RANGE RD
CURRENT RESIDENT	1834 JULIAN ST
CURRENT RESIDENT	11829 ELK HEAD RANGE RD
CURRENT RESIDENT	6155 S AMMONS WAY 101
CURRENT RESIDENT	11811 ELK HEAD RANGE RD
CURRENT RESIDENT	13976 W BOWLES AVE STE
CURRENT RESIDENT	11815 ELK HEAD RANGE RD
CURRENT RESIDENT	11817 ELK HEAD RANGE RD
HOGAN IRREVOCABLE GRANTORS TRUST	11853 ELK HEAD RANGE RD
KAREN S KENNEDY TRUST	11851 ELK HEAD RANGE RD
CURRENT RESIDENT	11849 ELK HEAD RANGE RD
CURRENT RESIDENT	11847 ELK HEAD RANGE RD
CURRENT RESIDENT	11845 ELK HEAD RANGE RD
CURRENT RESIDENT	11833 ELK HEAD RANGE RD
CURRENT RESIDENT	11835 ELK HEAD RANGE RD
CURRENT RESIDENT	10055 W KEENE AVE
CURRENT RESIDENT	11839 ELK HEAD RANGE RD
CURRENT RESIDENT	11841 ELK HEAD RANGE RD
CURRENT RESIDENT	11843 ELK HEAD RANGE RD
CURRENT RESIDENT	11855 ELK HEAD RANGE RD
CURRENT RESIDENT	10641 W INDORE DR
CURRENT RESIDENT	3890 E KETTLE AVE
CURRENT RESIDENT	11861 ELK HEAD RANGE RD
CURRENT RESIDENT	11820 ELK HEAD RANGE RD
HEROUX RICHARD A TRUSTEE	840 E DAVIDSON CT
CURRENT RESIDENT	11824 ELK HEAD RANGE RD
CURRENT RESIDENT	11826 ELK HEAD RANGE RD
CURRENT RESIDENT	5 MOUNTAIN WILLOW DR
CURRENT RESIDENT	11802 ELK HEAD RANGE RD
CURRENT RESIDENT	11804 ELK HEAD RANGE RD
PATRICIA A SMITH LIVING TRUST	11806 ELK HEAD RANGE RD

CURRENT RESIDENT	11808 ELK HEAD RANGE RD
CURRENT RESIDENT	11810 ELK HEAD RANGE RD
CURRENT RESIDENT	11812 ELK HEAD RANGE RD
CURRENT RESIDENT	11732 ELK HEAD RANGE RD
CURRENT RESIDENT	11730 ELK HEAD RANGE RD
CURRENT RESIDENT	11728 ELK HEAD RANGE RD
CURRENT RESIDENT	11726 W ELK HEAD RANGE RD
RICHARD M MURPHY REVOCABLE LIVING TRUST	P O BOX 270348
CURRENT RESIDENT	791 DEER CLOVER CIR
CURRENT RESIDENT	11736 ELK HEAD RANGE RD
CURRENT RESIDENT	11738 ELK HEAD RANGE RD
CURRENT RESIDENT	11740 ELK HEAD RANGE RD
CURRENT RESIDENT	11742 ELK HEAD RANGE RD
CURRENT RESIDENT	8349 PLAINVIEW ST
CURRENT RESIDENT	11702 ELK HEAD RANGE RD
CURRENT RESIDENT	P O BOX 270747
CURRENT RESIDENT	11706 ELK HEAD RANGE RD
CURRENT RESIDENT	11708 ELK HEAD RANGE RD
CURRENT RESIDENT	11710 ELK HEAD RANGE RD
ARCHLAND PROPERTY I LLC	4855 WARD RD 600
KC SHOPPING CENTER 01 LLC	12411 VENTURA BLVD
SAFEWAY STORES 45 INC	PO BOX 800729
KAISER FOUNDATION HEALTH PLAN OF COLORADO	ONE KAISER PLAZ 15TH FL
ALKIRE PLACE BUSINESS CONODOMINIUM ASSOC	7893 W FRIEND DR
HANSA BELL KEN CARYL JV LLC	300 N GREENE ST 1000
CURRENT RESIDENT	7594 ANVIL HORN
CURRENT RESIDENT	7574 ANVIL HORN
CURRENT RESIDENT	7554 S ANVIL HORN
CURRENT RESIDENT	7534 ANVIL HORN
CURRENT RESIDENT	7515 S ANVIL HORN
CURRENT RESIDENT	7535 ANVIL HORN
CURRENT RESIDENT	7555 ANVIL HORN
CURRENT RESIDENT	7585 ANVIL HORN
CURRENT RESIDENT	11509 PARK RANGE RD
CURRENT RESIDENT	11519 PARK RANGE RD
CURRENT RESIDENT	11529 PARK RANGE RD
CURRENT RESIDENT	11539 W PARK RANGE RD
CURRENT RESIDENT	11590 PARK RANGE RD
CURRENT RESIDENT	11580 PARK RANGE RD
CURRENT RESIDENT	11570 PARK RANGE RD
CURRENT RESIDENT	11560 PARK RANGE RD
CURRENT RESIDENT	7627 S BEAR MTN
CURRENT RESIDENT	7647 S BEAR MOUNTAIN
CURRENT RESIDENT	7616 S BEAR MOUNTAIN
CURRENT RESIDENT	11500 W PARK RANGE RD
CURRENT RESIDENT	11445 SAN JOAQUIN RIDGE
CURRENT RESIDENT	11455 SAN JOAQUIN RIDGE

CURRENT RESIDENT	11465 SAN JOAQUIN RIDGE
CURRENT RESIDENT	11475 SAN JOAQUIN RDG
CURRENT RESIDENT	11485 SAN JOAQUIN RIDGE
D & M WAGNER LIVING TRUST	11486 SAN JOAQUIN RIDGE
CURRENT RESIDENT	11476 SAN JOAQUIN RIDGE
CURRENT RESIDENT	11466 SAN JOAQUIN RIDGE
CURRENT RESIDENT	11456 SAN JOAQUIN RIDGE

RELIEF REQUESTS

Administrative Decision Memorandum

Date:	May 3, 2022
<u>21-137134ASR</u>	Alternative Standard/Requirement Requests
Related Cases:	21-1362707PF Preliminary and Final Plat - Ken Caryl Ranch North Plains Filing 2
Owner/Applicant:	NADG Ken-Caryl Ranch LP, a Delaware limited partnership and NADG Ken-Caryl Ranch 2 LP, a Delaware limited partnership
Representative:	Travis Frazier, Redland
Location:	AIN/PIN: 59-321-00-007. Southwest of the intersection of W. Chatfield Ave and West Ken Caryl Avenue.
Purpose:	**1. To allow an intersection spacing distance of 131, 132 and 150 feet where the minimum spacing of 175 feet is required (Section 3.7.1 of the Transportation Design and Construction Manual).** **2. To allow a driveway spacing distance of 4 feet between driveways (for a maximum of 17 locations) where 10 feet is required (Section 3.7.6 of the Transportation Design and Construction Manual).**
Case Manager:	Nathan Seymour

Background / Discussion:
The applicant is in a Preliminary and Final Plat process to subdivide the property into 199 lots for single-family attached units. There will be two primary access points to the site, W. Chatfield Ave from the East and N. Ken Caryl Avenue from the North (See Graphic Below). The access roads shown in dark grey are proposed as public streets. Those shown in light grey are proposed as private streets.

The property is zoned Planned-Development (P-D) per the Ken Caryl Ranch Official Development Plan (ODP) and subsequent amendments.

During the processing of the Preliminary and Final Plat, the applicant submitted an Alternative Standard requests as described in the purpose statement above.

Applicant's Request and Rationale (cited verbatim):

1. Alternative Standards for Intersection Spacing
The current site layout results in intersections with private alleys that are less than the 175' center to center distance as shown in the Transportation Design and Construction Manual. Table 3.7.1 Intersection Spacing states the minimum separation between local to local roadways is 175'.

The reduced intersection spacing occurs in three total locations:
1. Private Drive A to West Laurel Place 150' center to center
2. Private West Nova Drive and West Fairview Trail : 131' center to center
3. Private Drive G between West Nova Drive and West Fairview Trail : 132' center to Center

The site is proposed as a high density attached residential community. All of the intersections in question involve the private drives that serve the townhomes. The public roads are intended to have a reduced speed of 20 mph and the private drives will be 15 mph. Due to the layout of the development all of the proposed intersections are also anticipated to experience low traffic volumes. Based upon these conditions we request an alternative standard to reduce the intersection spacing in these locations.

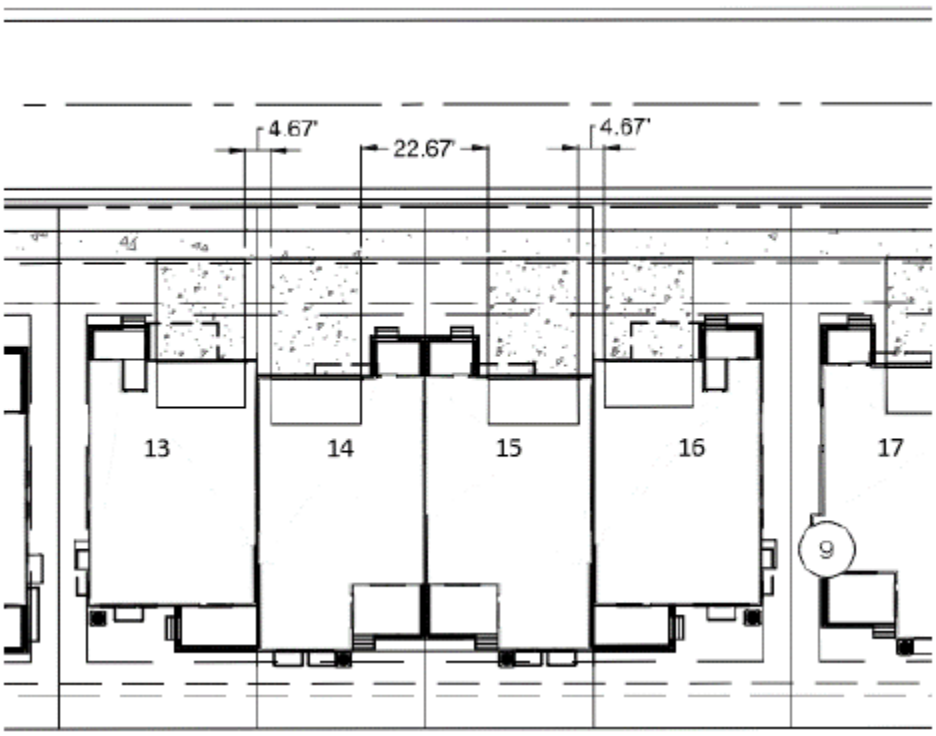
If the intersection spacing had to be accommodated additional area would need to be added into the lots to increase the spacing between private drives. In other instances, the increased spacing could result in lost units and density which are necessary to keep the financial viability of the project.

2. Alternative Standards for Driveway Spacing.
The project requests an alternative standard to Section 3.7.6 of the Transportation Standards for the minimum distance between driveways fronting to a local street. The Ken Caryl Ranch North Plains Filing 2 shall provide both alley and front-loaded Townhomes. The alley loaded Townhomes provide front and side elevation along the local street and internal green-courts.

The front-loaded Townhomes offer traditional living with both the front door and garage entering from the same side. This layout provides opportunity for a more tradition rear yard living space for kids and pets, and provides a better transition to the existing open space to the south and the commercial uses to the west.

To accommodate the front loaded town homes on a local street the project is requesting an alternative standard for to Section 3.7.6 of the Transportation Standards from 10' between driveways to 4 ft for a maximum of 17 locations.

Typical four-plex with 4 ft between two driveways and greater than 10 ft between the other two driveways.



Front Loaded townhomes offer a unique living environment with private rear yards. The requested alternative standard only occurs at 17 locations along front loaded townhomes. The front-loaded Townhomes occur on only one side of the local street. Since the product is attached the distance between units has been reduced (no side yards or side setbacks). This forces the driveways to be closer and creates the need for an alternative standard.

Applicable Regulations:
Section 2.B.2 of the Jefferson County Land Development Regulation allows the Director of Planning and Zoning the authority to make decisions on any request for Alternative Standards/Requirements, unless the specific provision indicates that a decision is to be made by the Board of County Commissioners. The following shall be considered for Alternative Standards/Requirements of the Land Development Regulation:

a. The applicant can demonstrate that alternate solutions or designs will not be detrimental to or contrary to the Purpose of this Regulation and will be in harmony with the general purpose and intent of the provision for which a waiver is sought.

b. The applicant can demonstrate that strict compliance with such provision would be impossible, impractical or undesirable.

Referral:
This request was sent on a 2-week referral to internal agencies including the Transportation and Engineering and Current Planning. The referrals resulted in no objections or concerns.

Notification:
The Alternative Standard request was sent to adjacent property owners and registered associations per Level 1 Notification procedures. Staff received five citizen comments pertaining to this request. For any questions received or requests for additional information, staff provided a response to the applicable citizen(s). All of the correspondence can be found in the case packet.

Analysis:

Staff is supportive of the Alternative Standard requests. Staff findings are based upon the following:

- Staff finds that if the Alternative Standard Request for roadway intersection spacing was to be approved at the specified locations interior to the site, there would be minimal traffic, resulting in less potential for conflicts.
- Staff finds that reducing the spacing to 4' between driveways is acceptable in order to properly meet the needs of this particular product type and would allow owners to the maximize the usable area in the front yards.
- Planning Staff, Road and Bridge District 1 and Transportation and Engineering do not object to these requests.
- While staff did receive citizen comments, most of the comments were in regard to understanding the specific request or details of the overall subdivision.

Staff Recommendation:
For the reasons indicated within this report, Staff recommends **approval** of the applicant's requests (Items 1-2) subject to subject to the following condition:

1. The approval and recordation of the associated Preliminary and Final Plat.

Decision:
Pursuant to Section 2.B.2 of the Jefferson County Land Development Regulation, the Director of Planning and Zoning renders the following decision on the Alternative Standard/Requirement Requests (Items 1-2):

x Alternative Standards Granted subject to the conditions listed above
____ Alternative Standards Granted with Changes _____
____ Alternative Standards Denied

Christopher B. O'Keefe
Digitally signed by Christopher B. O'Keefe
DN: cn=Christopher B. O'Keefe, o=Jefferson County, ou=Planning and Zoning Division, email=cokeefe@jeffco.us, c=US
Date: 2022.05.09 11:28:16 -06'00'

Christopher B. O'Keefe
Director of Planning and Zoning

May 9, 2022
Date

JEFFERSON COUNTY COLORADO
REVIEWED
By Mike Schuster at 11:51 am, May 04, 2022

Administrative Decision Memorandum

Date:	September 27, 2022
22-10213ASR	Alternative Standards/Requirements
Related Cases:	Preliminary and Final Plat, 21-136270PF
Owners/Applicants:	NADG Ken-Caryl Ranch LP, a Delaware limited partnership and NADG Ken-Caryl Ranch 2 LP, a Delaware limited partnership
Representative:	Kyle Schildt, WSP USA Inc.
Location:	AIN/PIN: 59-321-00-007. Southwest of the intersection of Chatfield Avenue and West Ken Caryl Avenue.
Purpose:	**Alternative Standard request to allow the following per the Land Development Regulation Section 26.A.4:** • **A maximum dBA (L0) of 88.2 dBA from 7AM to 7PM where 65 dBA is required.** • **A maximum dBA (L0) of 69.2 dBA from 7PM to 7AM where 50 dBA is required.** • **Periodic/Impulsive dBA of 100.2 dBA from 7AM to 7PM where 50 dBA is required.** • **Periodic/Impulsive dBA of 78.4 dBA from 7PM to 7AM where 45 dBA is required.** • **An L25 of 78.3 dBA from 7AM to 7PM where 55 dBA is required.**
Case Manager:	Nathan Seymour, Civil Planning Engineer

Background / Discussion:
The applicant is in a Preliminary and Final Plat process to subdivide the property into 199 lots for single-family attached units (Ken Caryl Ranch North Plains Filing 2). Access to the property is via Ken Caryl Avenue and Chatfield Avenue. The property is zoned Planned-Development (P-D) per the Ken Caryl Ranch Official Development Plan (ODP) and subsequent amendments.

This development was identified by the Sensory Impact Assessment/Study as an area that will experience elevated noise levels as follows:

- A maximum dBA (L0) of 88.2 dBA from 7AM to 7PM where 65 dBA is required.
- A maximum dBA (L0) of 69.2 dBA from 7PM to 7AM where 50 dBA is required.
- Periodic/Impulsive dBA of 100.2 dBA from 7AM to 7PM where 50 dBA is required.
- Periodic/Impulsive dBA of 78.4 dBA from 7PM to 7AM where 45 dBA is required.
- An L25 of 78.3 dBA from 7AM to 7PM where 55 dBA is required.

The County requested that the applicant also provide a comparison of these decibel levels to the DNL. The DNL (also known as LDN) is the Day-Night Noise Level used by HUD (Housing and Urban Development) to evaluate site suitability. Per HUD standards any new construction project that is located in unacceptable noise zones, defined in 24 CFR 51.104 as having the day-night average sound level greater than 65 dBA but less than 70 dBA, can be developable as long as a minimum of 5 dBA additional sound attenuation is performed. If the day-night average goes up to 75 dBA then there needs to be a minimum of 10 dBA of additional sound attenuation. In addition, the interior residential noise levels must remain below 45 dBA.

The results of this sites showed a maximum DNL of 70.64dBA and 67.92dBA for locations 2-1 and 2-2 of this development.

During the processing of the Preliminary and Final Plat, the applicant submitted Alternative Standard requests as described in the purpose statement above. Below is a depiction of the site and where mitigation measures are planned.

Applicant's Rationale:
The applicant's rationale is as follows (verbatim):

WSP USA Inc. (WSP) has been retained by NADG Ken-Caryl Ranch LP (NADG) to prepare this Alternative Standard Request for the Ken-Caryl Ranch North Plains Project (Parcel ID (AIN): 59-321-00-007) at Filing 2 (project area). The property is located east side of Highway C470, and south of Ken Caryl Avenue in Littleton, Colorado (approximate Latitude 39.57938° North, Longitude -105.1314° West).

Jefferson County Standards indicate that noise generated from a proposed development needs to not exceed the standards in Section 25-12-103 See below for the Jefferson County requirements in decibels (dB).

Time	7am – 7pm	7am – 7pm	7am – 7pm	7pm – 7am	7pm – 7am
Frequency	L25	L0	Periodic/Impulsive	L0	Periodic/Impulsive
Park/School, Residential	55	65	50	50	45

These requirements cannot be met due to initial baseline readings that exceed these values.

ALTERNATIVE STANDARD REQUEST

The Filing 2 site does not meet the County Regulations for noise pollution. This alternative standard request is to allow the following:

- *L_o of 88.2 dBA from 7AM to 7PM where a 65 dBA is required;*
- *L_o of 69.2 dBA from 7PM to 7AM where 50 dBA is required;*
- *Periodic/Impulsive of 100.2 dBA from 7AM to 7PM where 50 dBA is required;*
- *Periodic/Impulsive of 78.4 dBA from 7PM to 7AM where 50 dBA is required; and*
- *L_{25} of 78.3 dBA from 7AM to 7PM where 55 dBA is required.*

NADG is requesting using the U.S. Department of Housing and Urban Development (HUD) requirements for noise pollution instead of Jefferson County requirements. HUD's noise standards are in 24 CFR Part 51, Subpart B.

HUD standards state that any new construction project that is located in unacceptable noise zones, defined in 24 CFR 51.104 as having the day-night average sound level greater than 65 dB but less than 70 dB, can be developable as long as a minimum of 5 dB additional sound attenuation is performed. If the day-night average goes up to 75 dB then there needs to be a minimum of 10 dB of additional sound attenuation. In addition, the interior residential noise levels remain below 45 dB.

NOISE IMPACT MITIGATION

Since the site is located in an unacceptable noise zone, NADG is requesting that HUD standards be used alternatively. HUD standards require an interior noise goal of 45 dBA and an additional 5 decibels of additional sound attenuation.

WSP assessed mitigation techniques to determine if the Jefferson County requirements were achievable. Previous monitoring indicated sound levels above the JCPD standard. NADG will instead implement the HUD standards. NADG is proposing to incorporate noise mitigation into the development design to meet the HUD standards. The noise mitigation will combine sound/privacy fencing as well as building construction mitigation techniques at the residences.

Sound/privacy fences will be placed along the portions of the western property boundary. A six (6) foot tall well sealed privacy fence was modeled and expected to provide a 3-5 dBA reduction. NADG will be using an 8-foot-tall cedar #2 (or better) fencing material.

In order to minimize the noise impacts from the roadway on the future residents of the development, NADG will also be utilizing building construction material that provides noise mitigation. This includes exterior walls, attic space insulation, exterior glazing and using higher rating windows. There are additional measures that can be applied to assist with the exterior wall noise levels including staggering the studs, adding resilient channels, and using different types of insulation. These measures have been shown to reduce an additional 5-10 decibels. It should also be noted that the average wall has decibel reduction of approximately 44 dB prior to the above-mentioned additional methods that can be implemented.

It is NADG's expectation that the installation of the alternative construction material in the specified lots, sound fencing along the western property boundary, new buildings and landscaping will be sufficient to address existing noise impacts from the roadway.

LIMITATIONS

No investigation is infallible. Some uncertainty will always exist concerning the presence or absence of potential compliance measurements at a particular property, irrespective of the rigor of the investigation. Accordingly, WSP does not warrant that sound level readings, other than those identified in this report, do not exist at the subject property or may not exist there in the future.
WSP believes that it has performed the services summarized in this report in a manner consistent with the level of care and skill ordinarily exercised by members of the environmental profession practicing at the same time and under similar conditions in the area of the project.

Applicable Regulations:
Section 2.B.2 of the Jefferson County Land Development Regulation allows the Director of Planning and Zoning the authority to make decisions on any request for Alternative Standards/Requirements, unless the specific provision indicates that a decision is to be made by the Board of County Commissioners. The following shall be considered for Alternative Standards/Requirements of the Land Development Regulation:

a. The applicant can demonstrate that alternate solutions or designs will not be detrimental to or contrary to the Purpose of this Regulation and will be in harmony with the general purpose and intent of the provision for which a waiver is sought.

b. The applicant can demonstrate that strict compliance with such provision would be impossible, impractical or undesirable.

Referral:
This request was sent on a 2-week referral to internal agencies including Open Space, Public Health and Planning Staff. The referrals resulted in no outstanding concerns provided the mitigation measures and additional notification for future buyers is in place.

Notification:
The Alternative Standard request was sent to property owners within 500 feet and registered homeowners associations within 1 mile per Level 1 Notification procedures. Staff received two responses from nearby homeowners requesting additional information about the request. The comments from the citizens requested clarification on the request and the standards. Staff provided additional information on how the decibel levels would be exceeded and explained that the request is about the decibel levels that will be experienced by the future residents of the proposed development. Staff also indicated that the applicant is proposing to mitigate some of the noise by means of a sound barrier and enhanced construction materials.

Analysis:

Staff is supportive of the Alternative Standard Request. Staff findings are based upon the following:

1. Staff supports this request provided the applicant can demonstrate that the proposed decibel levels are within the acceptable range for HUD standards once mitigation occurs. This will include utilizing building construction material that provide additional noise mitigation and includes attic space insulation, exterior glazing and higher rating windows in order to ensure interior noise levels do not exceed 45dbA. A fence sound barrier will be required to be installed to reduce the elevated noise levels by at least 5.64dbA to ensure that this project aligns with HUD standards which require a day-night average sound level no greater than 65dBA.The location and details of this fence will be required to be shown within the approved landscape plans.
2. With this development there will be a noise disclosure statement recorded notifying all future lot owners of the noise impacts from nearby Colorado State Highway C-470 and Ken-Caryl Avenue.

3. Planning Staff, Road Public Health and Open Space do not object to these requests provided the additional mitigation and notice is provided to future homeowners.

Staff Recommendation:
For the reasons indicated within this report, Staff recommends **approval** of the Alternative Standards/Requirements provided the following conditions are met;
1. The Landscape Plans will be required to be updated to include an 8' fence sound barrier which will reduce the elevated noise levels down to a day-night average sound level no greater than 65dbA.
2. A noise disclosure statement be recorded notifying all future lot owners of the noise impacts.

Decision:
Pursuant to Section 2.B.2 of the Jefferson County Land Development Regulation, the Director of Planning and Zoning renders the following decision on the Alternative Standard/Requirement request during the processing of the Preliminary and Final Plat, Ken Caryl Ranch North Plains Filing 2.

__X__ Alternative Standard Granted with conditions

____ Alternative Standard Granted with Changes _____

____ Alternative Standard Denied

Chris O'Keefe

Digitally signed by Chris O'Keefe
DN: cn=Chris O'Keefe, o=Jefferson County, ou=Planning and Zoning, email=cokeefe@jeffco.us, c=US
Date: 2022.10.05 17:26:26 -06'00'

_____ October 5, 2022

Christopher B. O'Keefe
Director of Planning and Zoning

Date

JEFFERSON COUNTY COLORADO

REVIEWED

By Lindsey Wire at 4:15 pm, Oct 03, 2022

Administrative Decision Memorandum

Date:	**Revised** January 20, 2023, Originally Approved November 22, 2022
21-138542MVR	Minor Variation Request
Related Cases:	Ken Caryl Ranch North Plains Filing No. 2 Plat (21-136270PF)
Owner/Applicant:	NADG Ken Caryl Ranch LP, NADG Ken Caryl Ranch 2 LP
Representative:	Dennis Carruth
Location:	Northwest of the intersection of South Simms Street and West Ken Caryl Avenue (PIN: 59-321-00-007)
Purpose:	To allow reduced parking requirements.
Case Manager:	Nick Nelson, Planner

Background / Discussion

The applicant is in a Preliminary and Final Plat process (21-136270PF) to subdivide the subject property into 199 lots for single-family attached units. This property is currently zoned Planned Development and is governed by the Ken Caryl Ranch Official Development Plan (ODP) and subsequent amendments. This Minor Variation Request (MVR) is requesting relief from the ODP which requires two parking spaces (one parking space being a minimum of 300 square feet including that area which is required for ingress and egress) per dwelling unit. The ODP also requires a minimum of 400 square feet of covered parking space per dwelling unit.

The applicant is requesting to reduce these requirements to allow 357 square feet of covered parking for 27 townhome units with a single car garage.

Applicant's Rationale

The attached amended variation request from the applicant, dated January 20, 2023, requests that the original Minor Variation Request approved November 22, 2022, be updated to reflect additional changes made to the site plan and architectural plans:

Please note the attached Ken Caryl Ranch Parcel B UNIT LAYOUT prepared by Godden Sudik. With the refinement of the KCR Parcel B/Filing 2 architecture, the garage square footages for the 172 townhomes with two-car garage now meets the ODP 400 sf requirement. Please see the correct garage square footages based on the unit summary prepared by the project Architects at Godden Sudik.

The current condition nullifies the first portion of the approved Minor Variation Request. The second portion of the approved Minor Variation Request remains intact and approved.

The approved Minor Variance requested two items:

1) Reduce the covered parking square footage requirement from 400 sf to 367 sf for the 172 townhomes with a two-car garage. NO LONGER THE CONDITION – THE 400 SF GARAGE REQUIREMENT HAS BEEN MET.
2) Reduced the covered parking square footage requirement from 400 sf to 357 sf for the 27 townhomes with a single car garage. MVR REMAINS APPROVED BY JEFFERSON COUNTY.

The variation request included an Exhibit showing the proposed layout and location of parking spaces within the development.

Applicable Regulations

Section 1.I of the Jefferson County Zoning Resolution (ZR) allows the Director of Planning and Zoning to grant Minor Variations to facilitate the reasonable and expeditious processing of a development application. A Minor Variation may be granted for both onsite and offsite requirements for Minor Adjustments. Such variations shall be allowed only after a finding that:

a. Such variation(s) does not constitute a substantial change to the permitted land use(s), and that
b. No substantial detriment to the public good, nor harm to the general purpose and intent of this Zoning Resolution will be caused thereby.

Referral

This request was sent on a two-week referral to county and external agencies including Engineering, the Fire Protection District, and Open Space. Open Space and Engineering signed off with no comments and the Fire District did not provide comments.

Notification

Pursuant to Level 1 Notification Requirements as specified in Section 3.C of the ZR, notification was sent to property owners within 500 feet, applicable registered associations within 1 mile, and signage was properly posted for 14 days.

Staff received public comment via email during the public comment period, which stated that the request should be denied because home owners in the area own more vehicles than the national average. The Ken Caryl Ranch Master Association also provided comments in opposition to the request stating that they would like the applicants to meet the requirements of the PD zone district. The Ken Caryl Ranch Master Association stated they were under the impression that the development would be similar to the Green Gables development. However, the zoning for the Green Gables development is different and does not require a minimum amount of covered parking area. They also raise concerns that the development won't meet the minimum number of parking spaces required, but a request for a reduction in the number of parking spaces required is not requested with this Minor Variation. Similarly, snow stacking is not requested nor evaluated with this Minor Variation.

Analysis
Staff finds the Minor Variation request does not constitute a substantial change to the permitted land use(s) and will not cause substantial detriment to the public good, nor harm to the general purpose and intent of the ZR. Staff findings are based upon the following:

1. The applicant proposes to meet the number of parking spaces required and is only requesting to reduce the area of covered parking spaces required.
2. The surrounding area should not be negatively affected by reducing the amount of covered parking.

Staff Recommendation
For the reasons indicated within this report, Staff recommends **approval** of the applicant's request with no conditions.

Decision
Pursuant to Section 1.I. of the Jefferson County Zoning Resolution, the Director of Planning and Zoning, renders this decision on the request on the requested Minor Variation:

X Minor Variation Granted

____ Minor Variation Granted with Changes _____

____ Minor Variation Denied

_____ January 23, 2023

Christopher B. O'Keefe
Director of Planning and Zoning

Date

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
1500 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

MEMORANDUM

To: Nathan Seymour – Jefferson County

Prepared By: Susan Wade – Redland

Date: January 20, 2023 ~~January 4, 2023~~

RE: KCR Parcel B/Filing 2 Revised Parking Exhibit and Minor Variation

---

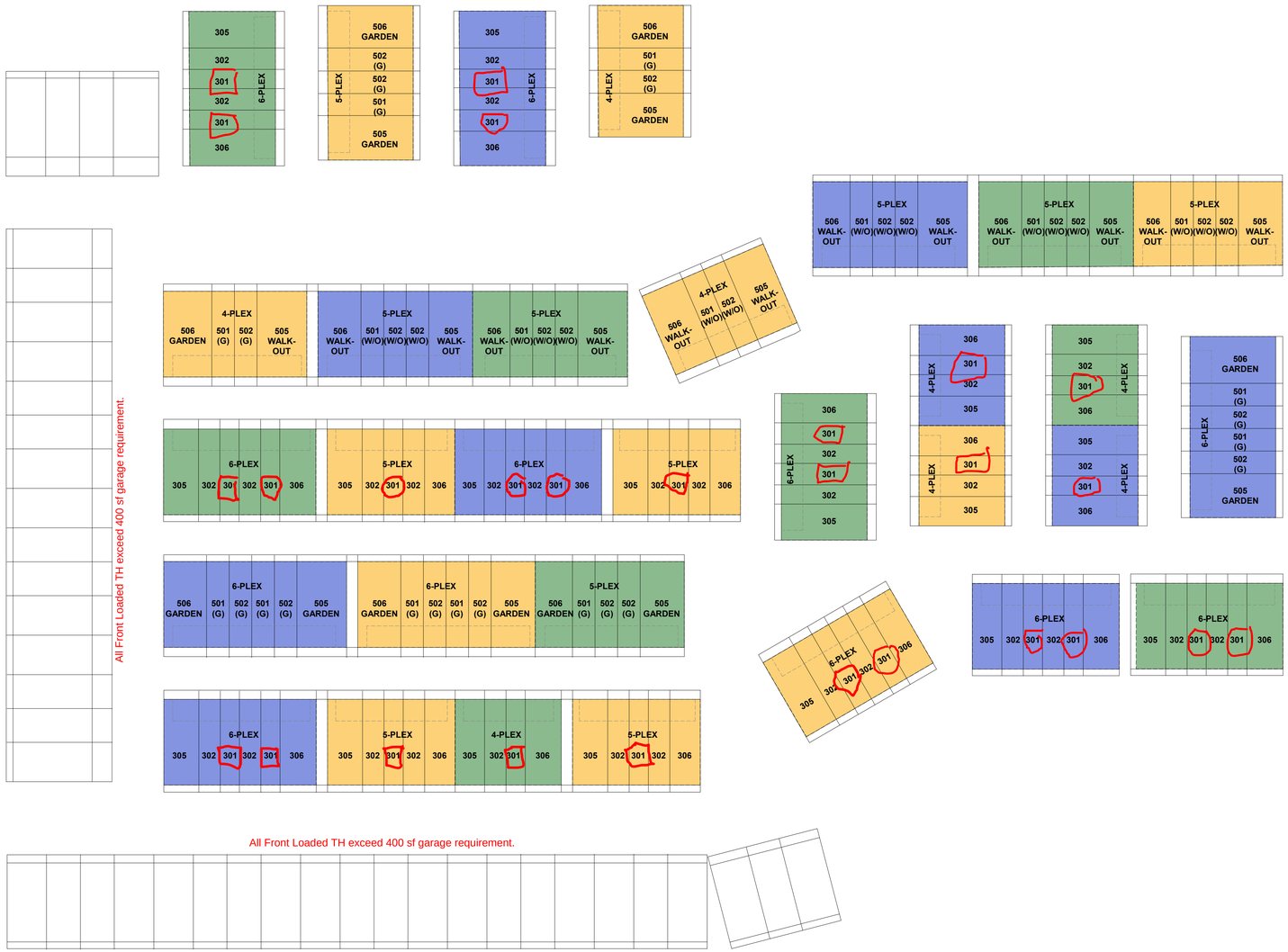
Please note the attached Ken Caryl Ranch Parcel B UNIT LAYOUT prepared by Godden Sudik. With the refinement of the KCR Parcel B/Filing 2 architecture, the garage square footages for the 172 townhomes with two-car garage now meets the ODP 400 sf requirement. Please see the correct garage square footages based on the unit summary prepared by the project Architects at Godden Sudik.

The current condition nullifies the first portion of the approved Minor Variation Request. The second portion of the approved Minor Variation Request remains intact and approved.

The approved Minor Variance requested two items:

1) Reduce the covered parking square footage requirement from 400 sf to 367 sf for the 172 townhomes with a two-car garage. NO LONGER THE CONDITION – THE 400 SF GARAGE REQUIREMENT HAS BEEN MET.
2) Reduced the covered parking square footage requirement from 400 sf to 357 sf for the 27 townhomes with a single car garage. MVR REMAINS APPROVED BY JEFFERSON COUNTY.

SEE WHAT COULD BE



1 SITE PLAN
1" = 60'-0"

300-SERIES		# OF PLEXES
PLEX	STYLE	
4-PLEX	CONTEMPORARY FARMHOUSE	1
4-PLEX	COLORADO MODERN	2
4-PLEX	MODERN HILL COUNTRY	2
5-PLEX	CONTEMPORARY FARMHOUSE	4
6-PLEX	CONTEMPORARY FARMHOUSE	1
6-PLEX	COLORADO MODERN	4
6-PLEX	MODERN HILL COUNTRY	4

500-SERIES		GARDEN	WALK-OUT	COMBO
PLEX	STYLE			
4-PLEX	CONTEMPORARY FARMHOUSE	1	1	1
5-PLEX	CONTEMPORARY FARMHOUSE	1	1	0
5-PLEX	COLORADO MODERN	1	2	0
5-PLEX	MODERN HILL COUNTRY	0	2	0
6-PLEX	CONTEMPORARY FARMHOUSE	1	0	0
6-PLEX	MODERN HILL COUNTRY	2	0	0

UNIT 301 AREAS

NAME	AREA
UNIT 301 - CONDITIONED	
1ST LEVEL	400 SF
2ND LEVEL	699 SF
	1,099 SF
UNIT 301 - UNCONDITIONED	
GARAGE	357 SF
PATIO	261 SF
	618 SF
	1,717 SF

Single-car garage - 27 units circled in red.

UNIT 302 AREAS

NAME	AREA
UNIT 302 - CONDITIONED	
1ST LEVEL	485 SF
2ND LEVEL	781 SF
	1,266 SF
UNIT 302 - UNCONDITIONED	
PATIO	257 SF
GARAGE	399 SF
	656 SF
	1,921 SF

Close enough for good measure

UNIT 305 AREAS

NAME	AREA
UNIT 305 - CONDITIONED	
1ST LEVEL	608 SF
2ND LEVEL	882 SF
	1,489 SF
UNIT 305 - UNCONDITIONED	
PATIO	217 SF
GARAGE	420 SF
	637 SF
	2,126 SF

UNIT 306 AREAS

NAME	AREA
UNIT 306 - CONDITIONED	
1ST LEVEL	641 SF
2ND LEVEL	977 SF
	1,618 SF
UNIT 306 - UNCONDITIONED	
PATIO	252 SF
GARAGE	462 SF
	714 SF
	2,332 SF

UNIT 501 (GARDEN) AREAS

NAME	AREA
501 (GARDEN) CONDITIONED	
1ST LEVEL	493 SF
2ND LEVEL	832 SF
BASEMENT	498 SF
	1,824 SF
501 (GARDEN) UNCONDITIONED	
GARAGE	414 SF
PATIO	207 SF
	621 SF
	2,445 SF

UNIT 501 (WALK-OUT) AREAS

NAME	AREA
501 (WALK-OUT) CONDITIONED	
1ST LEVEL	493 SF
2ND LEVEL	832 SF
BASEMENT	498 SF
	1,824 SF
501 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	213 SF
DECK	130 SF
GARAGE	414 SF
	758 SF
	2,581 SF

UNIT 502 (GARDEN) AREAS

NAME	AREA
502 (GARDEN) CONDITIONED	
1ST LEVEL	614 SF
2ND LEVEL	965 SF
BASEMENT	614 SF
	2,193 SF
502 (GARDEN) UNCONDITIONED	
GARAGE	414 SF
PATIO	241 SF
	655 SF
	2,849 SF

UNIT 502 (WALK-OUT) AREAS

NAME	AREA
502 (WALK-OUT) CONDITIONED	
1ST LEVEL	614 SF
2ND LEVEL	965 SF
BASEMENT	614 SF
	2,193 SF
502 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	162 SF
DECK	165 SF
GARAGE	414 SF
	741 SF
	2,935 SF

UNIT 505 (GARDEN) AREAS

NAME	AREA
505 (GARDEN) CONDITIONED	
1ST LEVEL	1,457 SF
BASEMENT	1,217 SF
	2,673 SF
505 (GARDEN) UNCONDITIONED	
GARAGE	423 SF
PATIO	80 SF
	503 SF
	3,176 SF

UNIT 505 (WALK-OUT) AREAS

NAME	AREA
505 (WALK-OUT) CONDITIONED	
1ST LEVEL	1,457 SF
BASEMENT	1,217 SF
	2,673 SF
505 (WALK-OUT) UNCONDITIONED	
GARAGE	423 SF
PATIO	80 SF
	503 SF
	3,176 SF

UNIT 506 (GARDEN) AREAS

NAME	AREA
506 (GARDEN) CONDITIONED	
1ST LEVEL	1,113 SF
2ND LEVEL	724 SF
BASEMENT	979 SF
	2,816 SF
506 (GARDEN) UNCONDITIONED	
GARAGE	424 SF
PATIO	134 SF
	558 SF
	3,375 SF

UNIT 506 (WALK-OUT) AREAS

NAME	AREA
506 (WALK-OUT) CONDITIONED	
1ST LEVEL	1,113 SF
2ND LEVEL	724 SF
BASEMENT	979 SF
	2,816 SF
506 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	134 SF
DECK	134 SF
GARAGE	424 SF
	693 SF
	3,509 SF

KEN CARYL PARCEL B TOWNHOMES

AREAS & STYLE LAYOUT

000

02-15-2022

Godden|Sudik ARCHITECTS

303.455.44

5975 S. QUEBEC ST., STE. 250

LEGEND

199 TOTAL TOWNHOMES

172 TOWNHOMES (TWO CAR GARAGE UNITS)

2 SPACES GARAGE (MINIMUM 400 SF)

- MEETS THE ODP REQUIREMENT FOR 2 PARKING SPACES PER UNIT AND 400 SF COVERED.

1 SPACE APRON (MINIMUM 300 SF)

- MEETS THE ODP REQUIREMENT FOR ONE SPACE WITH 300 SF.

27 TOWNHOMES (ONE CAR GARAGE UNITS)

1 SPACE GARAGE (MINIMUM 357 SF)

- MINOR VARIATION REQUEST TO ALLOW COVERED PARKING SQUARE FOOTAGE TO BE LESS THAN THE ODP REQUIREMENT OF 400 SF.

1 SPACE APRON

- MEETS THE ODP REQUIREMENT FOR 2 PARKING SPACES PER UNIT

18 BAY PARKING (9'x18'; 9'x20')

10 AMENITY CENTER PARKING (9'x18')

16 PARALLEL PARKING (8'x24')

ACCESSIBLE PARKING SPACE

16 BICYCLE PARKING (8 NEIGHBORHOOD) (8 PARK)

NOTES

1. ADDITIONAL ON-STREET PARKING SHALL BE PROVIDED ON BOTH SIDES OF THE LOCAL STREET.
2. APPROXIMATELY 16 SPACES OF ON-STREET PARKING SHALL BE PROVIDED FOR THE PARK.

PARKING REQUIRED	
398	THE APPROVED KEN CARYL RANCH ODP CONDOMINIUM RESIDENTIAL (R-3 K/C) REQUIRES 2 SPACES ON-SITE PER UNIT AND ONE SPACE BEING A MINIMUM OF 300 SF INCLUDING THAT AREA WHICH IS REQUIRED FOR INGRESS AND EGRESS. (199 X 2)
398	TOTAL PARKING REQUIRED (2 SP/UNIT)
CLUB AMENITITY IS PRIVATE AND FOR RESIDENTS ONLY AND THEREFORE WILL NOT REQUIRE ADDITIONAL PARKING SPACES.	

PARKING PROVIDED	
570	TOWNHOMES 516 SPACES (3 SPACES X 172 TWO CAR GARAGES) AND 54 (2 SPACES X 27 ONE CAR GARAGE AND APRON UNITS)
18	ON-SITE PARKING BAYS (16 SPACES + 2 ACCESSIBLE)
10	PRIVATE AMENITY CENTER (8 SPACES PLUS 2 ACCESSIBLE SPACES)
16	PARALLEL PARKING SPACES
614	TOTAL PARKING SPACES (3.08SP/UNIT)*

* PARKING PROVIDED (3.08 SP/UNIT) EXCEEDS ODP REQUIRED (2 SP/UNIT)

* 16' WIDE DRIVE APRONS CAN ACCOMMODATE 2 VEHICLES FOR AN ADDITIONAL 172 SPACES FOR A TOTAL OF 786 SPACES. (3.94 SP/UNIT)

REVISED 01-10-2023

N

0 25 50 100

SCALE: 1" = 50'

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
5500 Ward Court, Suite 200
Littleton, Colorado 80120
REDLAND.COM

DRAWN	EJK, BJB
CHECKED	TJF, SW
APPROVED	TJF, SW
PROJECT NO.	20001.004
HORZ. SCALE	1" = 50'
VERT. SCALE	

DATE	NO	NOTES
05/16/2022	1	SUBMITTAL TO COUNTY
01/03/2023	2	SUBMITTAL TO COUNTY

KEN-CARYL RANCH NORTH PLAINS FILING 2

PARKING EXHIBIT

SHEET

1 OF 1

I:\2020\20001 - Ken Caryl Ranch\CADD\Exhibits\20001.005 Parcel B Parking Exhibit\20001_Parcel B - Parking Exhibit.dwg tab: PARKING Jan 10, 2023 - 7:07pm ttrazier

Administrative Decision Memorandum

Date:	November 21, 2022
21-138542MVR	Minor Variation Request
Related Cases:	Ken Caryl Ranch North Plains Filing No. 2 Plat (21-136270PF)
Owner/Applicant:	NADG Ken Caryl Ranch LP, NADG Ken Caryl Ranch 2 LP
Representative:	Dennis Carruth
Location:	Northwest of the intersection of South Simms Street and West Ken Caryl Avenue (PIN: 59-321-00-007)
Purpose:	To allow reduced parking requirements.
Case Manager:	Nick Nelson, Planner

Background / Discussion
The applicant is in a Preliminary and Final Plat process (21-136270PF) to subdivide the subject property into 199 lots for single-family attached units. This property is currently zoned Planned Development and is governed by the Ken Caryl Ranch Official Development Plan (ODP) and subsequent amendments. This Minor Variation Request (MVR) is requesting relief from the ODP which requires two parking spaces (one parking space being a minimum of 300 square feet including that area which is required for ingress and egress) per dwelling unit. The ODP also requires a minimum of 400 square feet of covered parking space per dwelling unit.

The applicant is requesting to reduce these requirements to allow 367 square feet of covered parking where 400 square feet is required for 174 townhome units with a two-car garage and to allow 324 square feet of covered parking for 27 townhome units with a single car garage.

Applicant's Rationale
The attached variation request from the applicant, dated October 11, 2021, requests that the screen requirement be waived and states:

> "The proposed site plan and architectural design include a total of 199 townhome units. 174 shall provide a 2-car garage (367 sf covered) with the driveway apron with a minimum of 300 ft. The remaining 27 units will provide a 1-car garage (320 sf covered) and single driveway apron, meeting the two parking spaces required per unit.

The variation request included an Exhibit showing the proposed layout and location of parking spaces within the development.

Applicable Regulations
Section 1.I of the Jefferson County Zoning Resolution (ZR) allows the Director of Planning and Zoning to grant Minor Variations to facilitate the reasonable and expeditious processing of a development application. A Minor Variation may be granted for both onsite and offsite requirements for Minor Adjustments. Such

variations shall be allowed only after a finding that:

a. Such variation(s) does not constitute a substantial change to the permitted land use(s), and that
b. No substantial detriment to the public good, nor harm to the general purpose and intent of this Zoning Resolution will be caused thereby.

Referral
This request was sent on a two-week referral to county and external agencies including Engineering, the Fire Protection District, and Open Space. Open Space and Engineering signed off with no comments and the Fire District did not provide comments.

Notification
Pursuant to Level 1 Notification Requirements as specified in Section 3.C of the ZR, notification was sent to property owners within 500 feet, applicable registered associations within 1 mile, and signage was properly posted for 14 days.

Staff received public comment via email during the public comment period, which stated that the request should be denied because home owners in the area own more vehicles than the national average. The Ken Caryl Ranch Master Association also provided comments in opposition to the request stating that they would like the applicants to meet the requirements of the PD zone district. The Ken Caryl Ranch Master Association stated they were under the impression that the development would be similar to the Green Gables development. However, the zoning for the Green Gables development is different and does not require a minimum amount of covered parking area. They also raise concerns that the development won't meet the minimum number of parking spaces required, but a request for a reduction in the number of parking spaces required is not requested with this Minor Variation. Similarly, snow stacking is not requested nor evaluated with this Minor Variation.

Analysis
Staff finds the Minor Variation request does not constitute a substantial change to the permitted land use(s) and will not cause substantial detriment to the public good, nor harm to the general purpose and intent of the ZR. Staff findings are based upon the following:

1. The applicant proposes to meet the number of parking spaces required and is only requesting to reduce the area of covered parking spaces required.
2. The surrounding area should not be negatively affected by reducing the amount of covered parking.
3. There were no objections to this request from referral agencies.

Staff Recommendation
For the reasons indicated within this report, Staff recommends **approval** of the applicant's request with no conditions.

Decision
Pursuant to Section 1.I. of the Jefferson County Zoning Resolution, the Director of Planning and Zoning, renders this decision on the request on the requested Minor Variation:

__x__ Minor Variation Granted

____ Minor Variation Granted with Changes _____

____ Minor Variation Denied

Chris O'Keefe Digitally signed by Chris O'Keefe DN: cn=Chris O'Keefe, o=Jefferson County, ou=Planning and Zoning, email=cokeefe@jeffco.us, c=US Date: 2022.11.22 10:59:22 -07'00'

Christopher B. O'Keefe
Director of Planning and Zoning

November 22, 2022
Date

REFERRAL COMMENTS

From: P&Z Admin

Bcc: Kirk Hagaman; Kimberly Jordan; Ben Hasten; Pat OConnell; Public Health EH Land Use; Mike Schuster; Ross Klopf; Russell Clark; Nancy York; Felicity Selvoski; Mike Vanatta; Patricia Krmpotich; Lindsay Townsend; mharalds@jeffco.us; asarchul@jeffco.us; Alicia Doran; gail@msccm.com; jpassmore@westmetrofire.org; mdean@westmetrofire.org; mkirkpatrick@westmetrofire.org; tanderson@kcwater.org; insley@fhprd.org; seank@fhprd.org; richeller@fhprd.org; dave@peakdistrictmanagementllc.com; cindy.jenkins@cliftonlarsonallen.com; traciw@kcranch.org; treed@jeffco.k12.co.us; rhuxley@jeffco.k12.co.us; Matthew.Hanks@jeffco.k12.co.us; Supt@jeffco.k12.co.us; sarah.brucker@state.co.us; joanna.williams@state.co.us; CGS_LUR@mines.edu; jcd@jeffersoncd.com; cdphe_localreferral@state.co.us; ColoradoES, FW6; oahp@state.co.us; platreview@lumen.com; kayla_jones3@comcast.com; donna.L.George@xcelenergy.com; Kent.J.Christiansen@usps.gov; Jason.g.Eddleman@usps.gov; Mariann.Szasz@usps.gov; erlinda.j.martinez@usps.gov; krissy.j.summerfield@usps.gov; matt.martinez@state.co.us; submittals@udfcd.org; ray@cohopejeffco.com; tina@kchoa.com; kfauti@coloradomanagement.com; alan@hardsavellc.com; franevers@centurylink.net; sally@carruthproperties.com; victoriad@kcranch.org; melissad@kcranch.org; meredith@kchoa.com; steigen@msihoa.com; kevin.christensen@kchoa.com; mpoolet@gmail.com; denise@5150cm.com; sally@carruthproperties.com; barbmac@comcast.net; rwhite2@farmersagent.com; wburdan119@aol.com; Melinda@realworldsolutions.us

Subject: 21-136270PF- Electronic 1st Referral

Date: Monday, December 6, 2021 12:10:00 PM

ELECTRONIC REFERRAL

JEFFERSON COUNTY, COLORADO

Documents related to a Preliminary and Final Plat have been submitted to Jefferson County Planning and Zoning. This case is now beginning the 1st Referral part of the process. Please review the specific electronic documents related to the 1st Referral found **here**. **Comments on the Preliminary and Final Plat should be submitted electronically to the Case Manager by the due date below.**

Case Type: Preliminary and Final Plat
Case Number: 21-136270PF
Case Name: Ken Caryl Ranch North Plains Filing No. 2
Address: AIN/PIN: 59-321-00-007
General Location: Southwest of the intersection of W. Ken Caryl Avenue and W. Chatfield Avenue
Purpose: To subdivide the property into 201 lots for single family attached units.
Comments Due: **Friday December 24, 2021**
Case Manager: Nathan Seymour
Case Manager Contact Information: nseymour@jeffco.us 303-271-8751

The entire case file for this application can be viewed **here.**

Referrals:

Internal Agencies:
Addressing
Assessor
Cartography
County Geologist
Jeffco Public Health
Planning/Zoning Administration
Planning Engineering
Open Space
JeffCo Historical Commission
Transportation and Engineering
Road & Bridge District 2
Weed and Pest

External Agencies:

West Metro Fire Protection District
Ken Caryl Water and Sanitation District
Foothills Park and Recreation District
Plains Metro District
Ken Caryl Ranch Metro District
Jefferson County Public Schools (R-1 School District)
Division of Water Resources, State Engineer's Office
Colorado Geological Survey
Soils Conservation District
Colorado Department of Public Health and Environment
US Fish and Wildlife
Colorado Historical Society
LUMEN
Comcast
Xcel Energy
Post Office
Colorado Parks and Wildlife
Mile High Flood District

Registered Associations (HOA's)
Within 1 mile (Plains)

JEFFERSON COUNTY COLORADO
Planning and Zoning

Planning and Zoning
100 Jefferson County Parkway
Ste. 3550
Golden, CO 80419
303.271.8700 | jeffco.us
pzweb@jeffco.us

PLANNING ENGINEERING MEMORANDUM

TO: Nathan Seymour, Case Manager
FROM: Ross Klopf, Planning Engineering
DATE: December 6, 2022

RE: 21-136270PF; Preliminary and Final Plat – for Ken Carl Ranch NPF2

These comments have been based upon the application package and the requirements of the Jefferson County Land Development Regulation (LDR), the Jefferson County Zoning Resolution (ZR), the Jefferson County Storm Drainage Design and Technical Criteria (Storm Drainage Criteria) and the Jefferson County Transportation Design & Construction Manual (Transportation Manual).

Please see attached for the submittal document checklist. Documents may be submitted electronically to Jefferson County Planning and Zoning via P&ZAdmin@jeffco.us.

PRELIMINARY AND FINAL PLAT COMMENTS

PRELIMINARY AND FINAL PLAT DOCUMENT

1. Preliminary and Final Plat Content: Minor revisions requested as shown on the attached Red-Mark Print #4.

2. A copy of the Exhibit "A" subject to the requirements of Section 33 of the LDR should be submitted. The Exhibit "A" must also include but is not limited to:

   a. Separate cash in lieu for Ken Carl and Chatfield Intersection improvements
   b. Underdrain system

   Quantities shall be in groups that reference specific street/road names or other identifiable subdivision features. For more Information please see the standard format under the performance guarantee section of the web link below. http://jeffco.us/planning-and-zoning/forms-and-applications/

ENGINEERING DESIGN STANDARDS

TRANSPORTATION

Ken Caryl & Simms-Chatfield Traffic Signal Fee in lieu will be required to be provided to the County at time of Plat recordation.

Sight distance around the corner entering the development needs to be addressed

The sidewalk connection to Alkire were not addressed:

Landscape Plan Comments:

"Landscape L2.3: Trees on the inside of the curve of Street A down to Private Drive B are within the Sight Distance and must be removed or replaced with shrubs <42" mature height (4 trees). The note that the trees must be "limbed up to 8'" is not practical until the trees are mature, what would be done in the meantime?
Please add the pedestrian connection to Alkire St. Since there is not sidewalk along Alkire St, please extend this sidewalk connection up to the crosswalk at the signal."

Civil Construction Drawings:

On Sheet C5.25, Update the XXXX placeholder in the Note
On Sheet C5.25, revise the leader so that the note about shifting the eastbound traffic signal heads points to the eastbound signal heads
Sheet C5.25 shows concrete work (curb & gutter, directional sidewalk ramps) that are not to be constructed by the developer; the County is collecting cost in lieu of construction

Cost Estimate for Ken Caryl & Simms/Chatfield intersection modifications needs to be provided.
Cost estimate shall include:
Porkchop at the southwest corner
New directional ramps and sidewalk work at the southwest corner
South leg crosswalk striping
South leg extended median nose
New directional ramps and sidewalk work at the southeast corner
Widening of the east leg median including asphalt removal, curb installation, median construction, and stamped concrete pavers

Ken Caryl & King Soopers Traffic Signal Plan
Provide crosswalks on all 4 legs on the intersection (plans only show west leg and south leg crosswalk markings), including new ramps to accommodate east leg crosswalk LDR 15.A.1.e.(6)
Modify phasing diagram to show EBL and WBL (current phasing diagram incorrectly shows that phases 1 and 5 are not used)
"Ave" on Ken Caryl street name sign shall be above the block number and in the same size text as the block number
Revise Note 17 so that the specified sign is R10-3e with dimensions 9" x 15"
Revise Note 3 to reference Jefferson County, not Douglas County
Revise Note 10 so that cabinet bases shall be precast polymer concrete
Revise Note 11 to say FROM instead of FORM
Revise all instances of "County Engineering Manager" to say "County Traffic Engineer"
Remove Note 21; it gives the same information as Note 12

GRADING AND DRAINAGE

1. Construction Plans: Minor revisions required as shown on the attached redmarks.
2. Stockpile: The large stockpile will probably be necessary and will need to comply with the following.

    - Excess material shall be graded in a manner which is similar to the natural topography and shall not be cast over the side of cut or fill slopes. 16.F.16.c of the Zoning Resolution.
    - Maximum allowable height of a temporary stockpile is 50 feet measured from existing grade. The setback of the stockpile measured from the abutting property line to the edge of the stockpile is 1.6 multiplied by the height of the stockpile. The edge of the stockpile shall be no closer than the grading setback (7 feet from the abutting property line). The slope shall not exceed 3H:1V unless otherwise approved by Planning and Zoning for grading permits based on existing site conditions and topographic constraints. The temporary stockpile shall remain in place no longer than two years unless otherwise approved by Planning and Zoning for grading permits based on site conditions and construction duration. **Show the stockpile locations plus the maximum height, slope and CY of the stockpile**

Phase III Drainage Report:

- No additional comments. Please prepare final signed and stamped electronic copies for approval.

Additional Requirements

1. Water/Sewer Signoff: Prior to recordation signoff and acceptance is required by the water and sanitary districts serving the site. In addition, all private easements are required to be shown on the Plat.

2. Private Maintenance Organization: The applicant will be required to establish an organization (normally a property or homeowners' association) to own and maintain private streets, drainage and detention facilities and common areas unless an existing organization agrees in writing to maintain these improvements.

3. Traffic Impact Fees: LDR Section 33 A.8 requires the payment of TRAFFIC IMPACT FEES when obtaining a building permit on any lot within this development. This development will not be eligible for any credit towards the full amount of the fee. ***See the County's webpage for traffic fees:*** http://jeffco.us/planning-and-zoning/fees/

CONCLUSION

These case comments are based solely upon the submitted application package. They are intended to make the applicant aware of regulatory requirements. Failure by Planning Engineering to note any specific item does not relieve the applicant from conforming to all County regulations. Furthermore, if the proposed site layout and design are altered substantially during subsequent County land development processes (rezoning, platting, exemptions, additional submittals), Planning Engineering reserves the right to modify these initial comments or add appropriate additional comments.

The applicant should respond to these comments. If there are any questions, please contact Ross Klopf at 303-271-8733.

RHK
Attachment/Enclosure
c: File

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401

Matthew L. Morgan
State Geologist

September 1, 2022

Nathan Seymour
Jefferson County Planning & Zoning
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419

Location:
NE¼ NE¼ Section 32,
T5S, R69W of the 6th P.M.
39.5793, -105.1314

Subject: Ken Caryl Ranch North Plains Filing No. 2 Preliminary and Final Plat
Case Number: 21-136270PF Jefferson County, CO; CGS Unique No. JR-22-0008

Dear Nathan:

Colorado Geological Survey has reviewed the Ken Caryl Ranch North Plains Filing No. 1 preliminary and final plat (21-136270PF) resubmittal. The resubmittal documents included: Cover Letter (NADG Ken-Caryl Ranch LP, June 22, 2022); Subexcavation and Early Grading Documents (June 28, 2022, 2022); Final Plat (Aztec Consultants, Inc., June 17, 2022); Construction Documents (Redland, June 21, 2022); Phase III Drainage Report (Redland, June 2022); Retaining Wall Drawings and Report (Ground Engineering Consultants, Inc. (GROUND), June 3, 2022); and other documents. In addition, CGS previously reviewed the Geologic Report, Final (Lithos Engineering, February 24, 2022), AGW Geotechnical Response (A.G. Wassenaar, Inc. (AGW), February 24, 2022), Geotechnical Due Diligence Study (AGW, February 26, 2020), and Geotechnical Site Development Study, Draft (AGW, October 13, 2020).

The cover letter states that the "Applicant/Redland team response to the Colorado Geological Survey letter dated March 14, 2022" is included in the submittal, however, no such item was in the referral documents (3rd Referral).

Retaining walls and slope stability: The retaining wall design for Walls A to D was provided in the referral documents for the preliminary and final plat for Filing No. 2 (21-136270PF). GROUND's analysis indicates **acceptable** factors of safety (FS) of 1.33 to 1.85 for Walls A to C (critical wall section), assuming no wet soils or seepage. GROUND's recommendations for wall drains and positive surface drainage measures must be adhered to during temporary, interim, and permanent conditions.

Construction documents and geotechnical studies: The construction documents reference a geotechnical due diligence study dated October 20, 2021 (sheet C1.1) and a geotechnical site development study dated October 12, 2020 (sheet C5.1 to C5.16). The dates of these studies appear to be incorrectly referenced. Also, AGW's October 13, 2020, geotechnical site development study is still a "Draft" version and should be finalized.

Depth and extent of overexcavation: AGW's recommendations for the Ken Caryl Ranch North Plains Filing No. 2 (Parcel B) include subexcavation to depths of at least 14 feet below the crawl space foundation elevation or 12 feet below the basement foundation elevation for mitigating expansive bedrock within the Jefferson County steeply dipping bedrock area. The subexcavation and early grading plans (sheet C1.3) state the following:

- Cut slopes steeper than 2 to 1 should be evaluated for stability.

- Additional processing of the excavated claystone bedrock may be required due to the hardness of the material and low moisture content. The earthwork contractor should be made aware of the extra processing.
- Depending on the amount of fracturing and the dip of the bedding planes, the bedrock may present an additional caving hazard. Shoring and/or slope stabilization may be necessary along the southern and western portions of the excavations.

In addition, CGS recommends that:

- **AGW review the updated grading plans to ensure conformance with their report/recommendations**.
- **AGW's recommendations are strictly adhered to during planning, design, and construction**.
- **The contractor's means and methods regarding their plans for the subexcavation and early grading operations for this site should be discussed with all project team members to ensure the feasibility of their approach**.

Provided design-level geotechnical studies are performed and the additional items/recommendations provided in this letter are addressed, **CGS has no objection to the preliminary and final plat approval**.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at 303-384-2632 or email acrandall@mines.edu.

Sincerely,

Amy Crandall

Amy Crandall, P.E.
Engineering Geologist

December 21, 2021

Nathan Seymour
Jefferson County Planning and Zoning
Transmission via email: nseymour@jeffco.us

Re: Ken Caryl Ranch North Plains Filing No. 2
Case No. 21-136270PF
Pt. NE ¼ NE ¼ of Section 32, T5S, R69W, 6th P.M.
Water Division 1, Water District 8

Dear Mr. Seymour:

We have reviewed the above-referenced proposal to subdivide 28.041 acres into 201 residential units on 23.06 acres and 4.98 acres that will be developed for parks, trails, landscape and other recreational amenities. The 201 residential units are proposed to consist of 41 townhomes in 3 and 4-unit buildings, 66 smaller townhomes in 4, 5, and 6-unit buildings, and 94 larger townhomes in 4, 5, and 6-unit buildings.

Water Supply Demand

Water requirements for the development were estimated as 66,100 gallons per day or 74.04 acre-feet per year for residential and on-lot and park irrigation purposes. An estimated 50,600 gallons per day or 56.6 acre-feet per year are anticipated to be required for in-house use, with the remainder to be used for irrigation.

Source of Water Supply

The proposed water supply source for the development is the Ken-Caryl Ranch Water & Sanitation District ("District"). The applicant provided a Certificate of Water and Sewer Availability signed by the District dated October 27, 2021 confirming that water and wastewater services are available to the property. The Ken-Caryl Ranch Water & Sanitation District is contracted with the Denver Water Board ("Denver Water") and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 221. This office considers Denver Water to be a reliable source of water supply.

Stormwater Detention

An extended detention basin with a capacity of approximately 1.51 acre-feet will be utilized to meet on-site water quality and detention requirements. Flows associated with the South Jefferson County Drainageway watershed will be conveyed to a regional detention pond located at Simms Street and Gore Range Road. Flows from the Massey Draw watershed portion of the site were not previously accounted for when sizing the regional detention pond, therefore this portion of flows will be detained on-site for the 100-yr event. The applicant should be aware that, unless the

proposed extended detention basin can meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), C.R.S., the structure may be subject to administration by this office. The applicant should review the Division of Water Resources Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado, available on our website, to ensure that the notification, construction, and operation of the structure meets statutory and administrative requirements. The applicant is encouraged to use the *Colorado Stormwater Detention and Infiltration Facility Notification Portal*, located at https://maperture.digitaldataservices.com/gvh/?viewer=cswdif, to meet the notification requirements.

State Engineer's Office Opinion

Based on the above, it is our opinion pursuant to sections 30-28-136(1)(h)(I) and (II) of the Colorado Revised Statutes, that the proposed water supply is expected to be physically adequate and can be provided without causing material injury to decreed water rights. Should you or the applicant have any questions regarding this matter, please contact me at 303-866-3581 ext. 8249 or sarah.brucker@state.co.us.

Sincerely,

Sarah Brucker, P.E.
Water Resources Engineer

Cc: Referral file no. 29021

Nathan Seymour

From: AUTOMAILER@JEFFCO.US
Sent: Monday, December 12, 2022 3:56 PM
To: Nathan Seymour
Cc: Pat OConnell
Subject: 21 136270 PF - Agency Response

Case Number: 21 136270 PF
Case Type: Preliminary - Final Plat
Case Name: Ken Caryl Ranch North Plains Filing 2
Review: County Geologist
Results: Comments Sent (no further review)
Review Comments:

previous comments have been addressed

Scheduled End Date: 11/28/2022
Reviewer: Pat O Connell
Description: Preliminary and Final Plat to subdivide the applicable parcel of land into 199 single family attached residential lots, roadways, greenbelts, parks, landscape, trails and associated uses.

Nathan Seymour

From: AUTOMAILER@JEFFCO.US
Sent: Tuesday, January 4, 2022 11:48 AM
To: Nathan Seymour
Cc: Felicity Selvoski
Subject: 21 136270 PF - Agency Response

Case Number: 21 136270 PF
Case Type: Preliminary - Final Plat
Case Name: Ken Caryl Ranch North Plains Filing 2
Review: Historical Commission
Results: Comments Sent (no further review)
Review Comments:

The JCHC has reviewed this subdivision plat proposal and found that no historic sites will be affected if this application is approved. The Ken Caryl Equestrian Center, a Jefferson County local landmark, is nearby on the west side of C-470. However, this site is not excepted to be impacted by the development. The JCHC has no concerns.

Scheduled End Date: 12/27/2021
Reviewer: Felicity Selvoski
Description: Preliminary and Final Plat to subdivide the applicable parcel of land into 201 single family attached residential lots, roadways, greenbelts, parks, landscape, trails and associated uses.

JEFFERSON
CONSERVATION DISTRICT

December 21, 2021

Jefferson County Planning and Zoning
100 Jefferson County Parkway
Golden, CO 80219

Subject: 21-136270PF; Ken Caryl North Plains Ranch No. 2

Attention: Nathan Seymour

Thank you for notifying Jefferson Conservation District (JCD) of the comment period for the above-mentioned proposal, which is to subdivide the property into 201 lots for single family attached units.

Soils
The following comments are based on a review of soil types and their impacts on development using tools from the online USDA-NRCS Web Soil Survey.

Loam and clay loam are the dominant soil types, to a depth of at least 36 inches and a restrictive layer may be encountered at more than 80 inches. Due to this high clay component, which is common along the base of the Front Range foothills, there is potential for swelling soils; in essence, wetted soils may expand. Mitigating this risk with appropriate design/construction methods may improve pavement and foundation performance. A geotechnical report would better characterize the risks and mitigation tools for swelling soils. There is steeply dipping bedrock beneath the site. Hazards associated with heaving bedrock should be considered in building plans.

Corrosion from Soils
Risk of corrosion pertains to potential soil-induced electrochemical or chemical action that corrodes or weakens uncoated steel or concrete. The rate of corrosion of uncoated steel is related to such factors as soil moisture, particle-size distribution, acidity, and electrical conductivity of the soil. The rate of corrosion of concrete is based mainly on the sulfate and sodium content, texture, moisture content, and acidity of the soil. Special site examination and design may be needed if the combination of factors results in a higher risk of corrosion. Steel or concrete in installations that intersect soil boundaries or soil layers are more susceptible to corrosion than the steel or concrete in installations that are entirely within one kind of soil or within one soil layer.

For uncoated steel, the risk of corrosion is moderate to high, and is based on soil drainage class, total acidity, electrical resistivity near field capacity, and electrical conductivity. For concrete, the risk of corrosion is low; it is based on soil texture, acidity, and amount of sulfates in the saturation extract. The applicant may wish to consider corrosion risks when designing underground piping.

Landscaping Recommendations
To preserve limited water resources, we recommend landscape plantings (that is trees, shrubs, forbes, and graminoids) be native to the site's specific Jefferson County elevation and/or be

drought tolerant to the greatest extent possible. For instance, planting blue spruce may be risky given that they are adapted to cooler, wetter growing conditions, and hence have shallow, weak root systems. Maintaining blue spruce will require irrigation. Planting ponderosa and pinyon pine, on the other hand, to fulfill coniferous species composition requirements, would be more consistent with species native to this region, although this location/elevation was historically short grass steppe with few trees except for cottonwoods in riparian areas.

Planting native and drought tolerant species should also occur in uncompacted soils or well drained areas, as compaction can lead to soil saturation that may not be tolerable to some species. Compaction is a risk in clayey soils.

Planting native wildflowers in residential landscaping are also beneficial to pollinator insects.

Noxious Weeds
With soil disturbance, potential for noxious weed establishment and spread will be increased. Special consideration should be given to the monitoring and control of weeds given the close proximity of a large amount of open space to the west immediately across C-470. The ecological integrity of these open-space lands relies on a robust native plant community that is under constant pressure from noxious weeds. Managing weeds before, during, and after construction is recommended.

The Colorado Department of Agriculture website has educational resources for landowners to identify and manage noxious weeds. JCD can also provide technical assistance to landowners.

Please contact JCD with any questions.

Sincerely,

JCD Board of Supervisors

Planning & Property Department
809 Quail Street, Building 4
Lakewood, Colorado 80215
(303) 982-2584

December 22, 2021

Nathan Seymour, Case Manager
Jefferson County Planning and Zoning Department
100 Jefferson County Pkwy, Ste. 3550
Golden, Colorado 80419

RE: Case # 21-136270PF – Ken Caryl Ranch North Plains Filing No. 2

Dear Nathan,

Thank you for the information regarding the referenced case currently under review. Jeffco Public Schools has attached comments regarding this referral.

Should you need additional information, please contact me.

Sincerely,

Jeffco Public Schools

Matt Hanks
GIS Manager

R:\FAC\CMFPD\GIS\Subdivisions\2021 Referrals\Jefferson County\KenCarylRanchNorthPlains\Filing2\1stReferral\20211222_KenCarylRanchNorthPlainsFiling2.docx

Planning & Property
809 Quail St., Bldg. #4
Lakewood, Colorado 80215
Phone: 303.982.2590
Fax: 303.982.2400

PLANNING COMMENTS

Date: December 22, 2021

Subdivision Name: **Ken Caryl Ranch North Plains Filing No. 2**
Location: W Ken Caryl Ave & W Chatfield Ave
Status: Preliminary & Final Plat
Planner: Nathan Seymour
Jeffco Schools Contact: Matt Hanks, 303-982-2354

	ELEMENTARY	MIDDLE	HIGH	TOTAL
Dwelling Units	**Yield**	**Yield**	**Yield**	**Yield**
201 SFA	0.34	0.14	0.14	0.62
	Students	**Students**	**Students**	**Students**
Total from this proposal	68	28	28	124

The full effect on JEFFCO Schools is unknown at this time. As the development progresses and more facts are known, the district will be able to anticipate the effect on classroom and school facilities that would be generated from this proposal.

The anticipated school assignments for students generated from this development are:

Shaffer Elementary School (PK-5) – 7961 S Sangre de Cristo Rd, Littleton, CO 80127

Falcon Bluffs Middle School (6-8) – 8449 S Garrison St, Littleton, CO 80128

Chatfield High School (9-12) – 7227 S Simms St, Littleton, CO 80127

Note: School assignments are for the current school year and may be subject to change.

School	*2021-22 Student Membership	**2022-23 Projected Membership	**2023-24 Projected Membership	Adjusted 2023-24 Projected Membership to include Development	*** Total Applied Capacity	Applied Capacity less 2023-24 Adjusted Projection
Shaffer	514	484	486	554	716	162
Falcon Bluffs	620	660	661	689	850	161
Chatfield	1,791	1,776	1,767	1,795	2,360	565

Sources: *CDE Membership Count, **Membership Projections Report (March 2021), ***Summary of Findings (March 2021)

Effective the date of this report, Applied Capacity for Shaffer Elementary, Falcon Bluffs Middle, & Chatfield High is sufficient to house students from this development. This development will be further evaluated as a part of the Jeffco School's overall review of the south area development picture.

At this time, Jeffco Schools requests fees-in-lieu from the developer. Such fees would be held in escrow accounts for future application by the District in accordance with our procedures and Jefferson County Regulations.

Nathan Seymour

From: P&Z Admin
Sent: Thursday, December 9, 2021 7:49 AM
To: Nathan Seymour
Subject: FW: 21-136270PF- Electronic 1st Referral

Here you go!

Holly Powers
Jefferson County Planning and Zoning
Administrative Assistant
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419
303-271-8748
hpowers@jeffco.us | planning.jeffco.us

Planning and Zoning is open to the public and we are offering both virtual and in-person appointments. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

JEFFERSON COUNTY COLORADO

From: PlatReview <PlatReview@lumen.com>
Sent: Thursday, December 9, 2021 7:22 AM
To: P&Z Admin <PZAdmin@co.jefferson.co.us>
Cc: Benson, William <William.Benson2@lumen.com>
Subject: --{EXTERNAL}-- RE: 21-136270PF- Electronic 1st Referral

CAUTION: This email originated from outside Jefferson County Government. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Requester,

Our engineer has reviewed this plat and their comments are: "I have reviewed this PLAT and have no objections."
If you require signatures, you can contact the engineer CC'd on this email and if you have any further questions, please don't hesitate to reach out.

Thank you!

From: P&Z Admin <PZAdmin@co.jefferson.co.us>
Sent: Monday, December 6, 2021 1:11 PM
Subject: 21-136270PF- Electronic 1st Referral

MHFD
MILE HIGH FLOOD DISTRICT

2480 W. 26th Ave Suite 156-B | Denver, CO 80211
TEL 303 455 6277 | FAX 303 455 7880

www.mhfd.org

For MHFD staff use only.	
Submittal ID:	10008218
MEP Phase:	Referral (PF 2nd)

March 9, 2022

To: Nathan Seymour (Jefferson County)

Via email

Subject: MHFD Review Comments

Re: Ken Caryl Ranch North Plains Filing No. 2 – (21-136270PF)

This letter responds to the referral request for our comments concerning the referenced project. We have reviewed the referral only as it relates to a major drainageway and for maintenance eligibility of storm drainage features, in this case:

- N/A (development located between Massey Draw and Dutch Creek; no MEP features)

MHFD staff has the following comments to offer:

1) Thank you for considering and addressing our pervious comments concerning the hydrologic design parameters used for sizing stormwater infrastructure on-site. We do not have additional comments on this matter.
2) Please note this proposed development does not include any proposed stormwater infrastructure that would be considered for maintentance eligibility. Additionally, the project site is not adjacent to an MHFD drainageway or located in an area with an effective floodplain. We therefore do not need to review future drainage plans for the development.

We appreciate the opportunity to review this proposal. Please feel free to reach out to us with any questions or concerns.

Sincerely,

Bryan W. Kohlenberg, P.E., CFM
Watershed Manager, Mile High Flood District
bkohlenberg@mhfd.org

BWK/hwb

Nathan Seymour

From: AUTOMAILER@JEFFCO.US
Sent: Wednesday, March 16, 2022 10:24 AM
To: Nathan Seymour
Cc: Elizabeth O'Brien
Subject: 21 136270 PF - Agency Response

Case Number: 21 136270 PF
Case Type: Preliminary - Final Plat
Case Name: Ken Caryl Ranch North Plains Filing 2
Review: Open Space
Results: No Comment (no further review)
Review Comments:
Scheduled End Date: 03/15/2022
Reviewer: Elizabeth OBrien
Description: Preliminary and Final Plat to subdivide the applicable parcel of land into 199 single family attached residential lots, roadways, greenbelts, parks, landscape, trails and associated uses.

COLORADO
Parks and Wildlife
Department of Natural Resources

Northeast Regional Office
6060 Broadway
Denver, CO 80216
P 303.291.7227

June 29, 2020

Lindsey Wire
Case Manager
Jefferson County Planning and Zoning
100 Jefferson Parkway, Suite 3550
Golden, CO 80419-3550

RE: Case No 20-111127: Pre-application Review Submittal for Preliminary/Final Plat of Parcel B- Ken Caryl Lands.

Dear Ms. Wire:

Thank you for the opportunity to comment on the pre-application review for the combined Preliminary/Final Plat for Parcel B.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

This parcel consists of 28.041 acres and is surrounded by development with Ken Caryl Blvd to the north and W Chatfield Ave to the east. The site is zoned R-3 K/C Condominium Residential which would permit up to 270 multi-family dwelling units.

The site consists of rolling upland slopes dominated by smooth brome. Other rangeland grasses, yucca and rabbit brush are also present. Noxious weeds are also on site including knapweed and Canada thistle. A paved trail extends the southern boundary of the parcel. Along this edge, approximately 3.5 acres will be preserved as open space and recreational use. A detention area is planned along the northeastern edge.

Wildlife that would commonly be found in this area would include small mammals including mice, voles, rabbits, foxes, and coyotes. Adjacent residential communities also report a variety of reptiles including garter snakes and bull snakes. On occasions, deer and bear have been reported to pass through this area.

Dan Prenzlow, Director, Colorado Parks and Wildlife • Parks and Wildlife Commission: Michelle Zimmerman, Chair • Marvin McDaniel, Vice-Chair
James Vigil, Secretary • Taishya Adams • Betsy Blecha • Robert W. Bray • Charles Garcia • Marie Haskett • Carrie Besnette Hauser • Luke B. Schafer • Eden Vardy

Habitat in Colorado is disappearing rapidly. Although each individual platting may only have minimal impacts to wildlife, the totality of development along the Front Range creates major impacts to local wildlife.

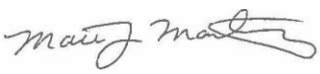
With development, some species will decrease in number and others may be lost completely from the site. Conversely, there are some small game species that tend to adapt with development and, in the long run, may increase in local abundance. For this site, species that may occur more frequently with development include squirrels, rabbits, skunks, foxes, and coyotes. With the abundance of urban wildlife in closer contact with development, human/wildlife conflicts will increase in frequency.

This site will have impacts to wildlife. Thus, we appreciate any measures that are taken to help preserve some of the habitat value. We recommend the following as mitigation recommendations:

- Housing should be clustered as much as possible to allow larger expanses of open space for wildlife.
- Open space and detention areas should be developed with wildlife use and movement in mind and should be planted in native vegetation and remain undisturbed.
- Since noxious weeds are on site, we recommend that machinery be inspected prior to leaving the site so visible plant material can be removed. This will help slow the spread of invasive seeds.
- Any drainage or detention areas would be most beneficial to wildlife if planted with native plantings and left undisturbed.
- Raptors, and other migratory birds, are protected from take, harassment, and nest disruption at both the state and federal level. If nests are observed on the adjacent sites, near the development area, CPW recommends that construction cease until outside of seasonal nest occupancy. If construction activity does occur, buffer zones should be established around the nest site. This will help prevent the unlawful destruction or disruption of active nesting activity.

Thank you for allowing CPW to comment on this proposal. If you have any questions, feel free to contact your local District Wildlife Manager, Jerrie McKee at (303) 880-4089.

Sincerely,



Matt Martinez
Area Wildlife Manager

cc: M. Leslie, K. Cannon, J. McKee

From: San Miguel, George L
To: Nathan Seymour
Subject: --{EXTERNAL}-- Electronic 1st Referral Ken Caryl Ranch North Plains Filing No. 2 (2022-TA-0305)
Date: Wednesday, December 15, 2021 12:02:59 PM

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Hello Nathan Seymour,

The U.S. Fish and Wildlife Service (Service) has reviewed the documents associated with the construction of a residential subdivision in Ken Caryl, CO, Case Number: 21-136270PF. The Service has no concerns with this project resulting in impacts to species listed as candidate, proposed, threatened, or endangered.

For future projects, please use the Preble's meadow jumping mouse Block Clearance Maps for Denver to determine whether consultation is necessary. If the project is sited within the Block Clearance Zone you do not need to request our concurrence in order to proceed with a project.

We appreciate your efforts to ensure the conservation of threatened and endangered species. Thank you for contacting us and please let me know if you have any further questions.

George L. San Miguel

Wildlife Biologist
Colorado Ecological Services Field Office
US Fish & Wildlife Service
134 Union Blvd., Suite 670
Lakewood, Colorado 80228
(303)236-4752
George_SanMiguel@FWS.gov

Nathan Seymour

From: McKee - DNR, Jerrie <jerrie.mckee@state.co.us>
Sent: Friday, December 10, 2021 9:40 AM
To: Nathan Seymour
Cc: Matt Martinez
Subject: --{EXTERNAL}-- LU- Case N0 21-136270PF
Attachments: 546_LU KCLandsParcelB2020 (1).pdf

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Dear Mr. Seymour,

Regarding the Ken Caryl North Plains FIling No. 2, CPW had commented on this parcel during the Pre-Application and Preliminary Plat.
CPW's comments and mitigation recommendations would remain the same.

That original comment letter is attached.

Please feel free to reach out to me if you have any questions or concerns.

Sincerely,

Jerrie McKee
District Wildlife Manager

Denver Office 303.291.7227
C 303.880.4089 | F 303.291.7114
6060 Broadway, Denver, CO 80216
jerrie.mckee@state.co.us | cpw.state.co.us

Nathan Seymour

From: AUTOMAILER@JEFFCO.US
Sent: Tuesday, March 1, 2022 12:10 PM
To: Nathan Seymour
Cc: Public Health EH Land Use; Tracy R. Volkman
Subject: 21 136270 PF - Agency Response

Case Number: 21 136270 PF
Case Type: Preliminary - Final Plat
Case Name: Ken Caryl Ranch North Plains Filing 2
Review: Public Health
Results: Comments Sent (no further review)
Review Comments:
Scheduled End Date: 03/15/2022
Reviewer: Tracy Volkman
Description: Preliminary and Final Plat to subdivide the applicable parcel of land into 201 single family attached residential lots, roadways, greenbelts, parks, landscape, trails and associated uses.

Nathan Seymour

From: P&Z Admin
Sent: Tuesday, March 1, 2022 11:41 AM
To: Nathan Seymour
Subject: FW: 21-136270PF- Electronic 2nd Referral

From: Andrew Archuleta <asarchul@co.jefferson.co.us>
Sent: Tuesday, March 1, 2022 11:35 AM
To: P&Z Admin <PZAdmin@co.jefferson.co.us>
Subject: RE: 21-136270PF- Electronic 2nd Referral

District II has no concerns at this moment.

Andrew Archuleta
Supervisor, Road & Bridge District II
o 303.271.5225 f 303.933.9528. w jeffco.us
JEFFERSON COUNTY COLORADO
Road and Bridge

From: P&Z Admin <PZAdmin@co.jefferson.co.us>
Sent: Tuesday, March 1, 2022 10:52 AM
Subject: 21-136270PF- Electronic 2nd Referral

ELECTRONIC REFERRAL

JEFFERSON COUNTY, COLORADO

Documents related to a Preliminary and Final Plat have been submitted to Jefferson County Planning and Zoning. This case is now beginning the 2nd Referral part of the process. Please review the specific electronic documents related to the 2nd Referral found **HERE**. **Comments on the Preliminary and Final Plat should be submitted electronically to the Case Manager by the due date below.**

Case Type: Preliminary and Final Plat
Case Number: 21-136270PF
Case Name: Ken Caryl Ranch North Plains Filing No. 2
Address: AIN/PIN: 59-321-00-007
General Location: Southwest of the intersection of W. Ken Caryl Avenue and W. Chatfield Avenue
Purpose: To subdivide the property into 199 lots for single family attached units.
Comments Due: Tuesday, March 15, 2022
Case Manager: Nathan Seymour
Case Manager Contact Information: nseymour@jeffco.us 303-271-8751

The entire case file for this application can be viewed HERE.

Referrals:

Internal Agencies:
Cartography
County Geologist
Jeffco Public Health
Planning/Zoning Administration
Planning Engineering
Open Space
Transportation and Engineering
Road & Bridge District 2

External Agencies:
Ken Caryl Water and Sanitation District
Foothills Park and Recreation District
Plains Metro District
Ken Caryl Ranch Metro District
Colorado Geological Survey
Comcast
Xcel Energy
Colorado Parks and Wildlife
Mile High Flood District

West Metro Fire Protection District

433 S. Allison Parkway
Lakewood, CO 80226

Bus: (303) 989-4307
Fax: (303) 989-6725
www.westmetrofire.org

December 14, 2021

Nathan Seymour
nseymour@jeffco.us
303-271-8751
RE: Ken Caryl Ranch North Plains Filing No. 2 Site Plan 21-136270PF

This property is within the West Metro Fire Protection District (WMFPD). Fire service will be provided as long as provisions of the currently adopted 2018 edition of the International Fire Code (IFC), including Jefferson County amendments, are met in development.

Acceptable plans will show building height, size, and construction type. Buildings taller than 30' to the eaves will have additional access requirements.

All required fire department access lanes must be in place with an all-weather service prior to any construction. At a minimum, WMFPD will require at least a first lift of asphalt prior to construction in order to comply with this requirement.

Permits are required from the fire district for new and core/shell buildings, tenant improvement projects, all work on automatic fire protection systems, all work on automatic fire detection systems, solar photovoltaic systems, and underground fire line.

WMFPD reserves the right to provide additional comments/requirements if there are any changes to the application or at the time plans are submitted and reviewed per applicable codes and amendments.

If you have any questions contact me at 303-989-4307 extension 558 or e-mail: jbrennan@westmetrofire.org.

Respectfully,

Captain John Brennan
Life Safety Division
West Metro Fire Protection District

Nathan Seymour

From: Brennan, John <jbrennan@westmetrofire.org>
Sent: Thursday, January 20, 2022 10:27 AM
To: Nathan Seymour
Subject: --{EXTERNAL}-- RE: 21-136270PF

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Mr. Seymour,

I was out of the office for the last couple of weeks, so I apologize for the delay.

Everything that has been submitted to date is acceptable. The additional comments is our blanket statement in case we miss something and for additional plans that are submitted.

Thank you for reaching out.

John Brennan
Captain – Life Safety Division
West Metro Fire Rescue
433 South Allison Parkway Kipling Street
Lakewood, Colorado 80226
303-989-4307 (office)
303-888-9863 (mobile)

West Metro Fire Rescue

Commission on Fire Accreditation International

Internationally Accredited Agency

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Friday, January 14, 2022 10:29 AM
To: Brennan, John <jbrennan@westmetrofire.org>
Subject: RE: 21-136270PF

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi John,

I hope your well. I just had question on the comments you provided for Ken Caryl Ranch North Plains Filing 2. You state that additional comments may be provided at the time plans are submitted and reviewed per applicable codes and amendments. The overall site layout and street design was provided with this past submittal. I just wanted to make sure you'd seen that and don't have any comments or concerns regarding the proposed design. I will have the developer confirm but the zoning prohibits buildings taller than 30'. So nothing should exceed that standard.

I'll plan to send this out to you again with the next referral. In the mean time if you have any questions please let me know.

Thanks,

Nathan Seymour
Civil Planning Engineer
303.271.8751

Due to staffing shortages, Planning and Zoning can no longer accommodate customers without an appointment. We are now open by appointment only (both virtual and in-person). We will resume serving customers without an appointment once new staff are hired. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Brennan, John <jbrennan@westmetrofire.org>
Sent: Tuesday, December 14, 2021 1:25 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- 21-136270PF

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Mr. Seymour,

Attached is the response from WMFPD regarding Ken Caryl Ranch North Plains Filing No 2.

Regards,

John Brennan
Captain – Life Safety Division
433 South Allison Parkway
Lakewood, Colorado 80226
West Metro Fire Rescue
303-989-4307

West Metro Fire Rescue

Commission on Fire Accreditation International

Internationally Accredited Agency

Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

March 15, 2022

Jefferson County Planning and Zoning
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419

Attn: Nathan Seymour

Re: Ken Caryl Ranch North Plains Filing No. 2 - 2nd referral
Case # 21-136270PF

Public Service Company of Colorado's Right of Way & Permits Referral Desk acknowledges the comment responses and changes made to the plat for **Ken Caryl Ranch North Plains F2**, and has no additional concerns at this time.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

CITIZEN COMMENTS

Nathan Seymour

From: Nathan Seymour
Sent: Tuesday, January 24, 2023 2:55 PM
To: Fischer Family
Subject: RE: BCC meeting Filing 2

Hi Kassie,

The video should now be available and can be found here.
https://pub-jeffco.escribemeetings.com/Players/ISIStandAlonePlayer.aspx?Id=3170d101-7183-4a84-bb46-197ca2dbab7e

Let me know if you have any trouble.

Yes the BCC is still set for the 31st. Please let me know what misinformation was provided.

Thank you,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

JEFFERSON COUNTY COLORADO

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Fischer Family <tandkathome@hotmail.com>
Sent: Monday, January 23, 2023 3:24 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- BCC meeting Filing 2

This Message Is From an External Sender
This message came from outside your organization.

Report Suspicious

Hi Nathan,

During the Planning Commission meeting for Filing 2, I sent a message in the chat asking for a copy of the meeting recording, prior to the BCC meeting. The person answering the chat said they could request it (I think that's what they said) but I should follow up with you. The Developer gets to respond to citizen comments without any rebuttal by the citizens. The Developer presented some mis-information that should be clarified, but without a copy of exactly what they said it would be hard to do so.

Is there a possibility of a link to the recording sometime, or a transcription of the meeting, this week?

Is the BCC hearing still set for Jan 31st?

Thanks,
Kassie

Nathan Seymour

From: Nathan Seymour
Sent: Monday, January 23, 2023 11:08 AM
To: David Abers
Cc: Dennis Carruth (dennis@carruthproperties.com)
Subject: RE: --{EXTERNAL}-- KCR Plains North Filing 2

That would be great. Thanks!

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

JEFFERSON COUNTY COLORADO

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: David Abers <dabers@nadg.com>
Sent: Monday, January 23, 2023 10:07 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Dennis Carruth (dennis@carruthproperties.com) <dennis@carruthproperties.com>
Subject: RE: --{EXTERNAL}-- KCR Plains North Filing 2

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Of course – we've spoken with Matt previously and will try to relay the message again. Want us to copy you on our response to him?

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Monday, January 23, 2023 10:29 AM
To: David Abers <dabers@nadg.com>
Cc: Dennis Carruth (dennis@carruthproperties.com) <dennis@carruthproperties.com>
Subject: FW: --{EXTERNAL}-- KCR Plains North Filing 2

Hi David,

I received this email as a follow up to a citizen testimony. I was hoping a member of your team could provide a response to his questions below.

Thank you!

Nathan Seymour

Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments [jeffco-planning-and-zoning-hqorx.appointlet.com] and submit applications online. Go to planning.jeffco.us for more information.

From: PZ Web <pzweb@co.jefferson.co.us>
Sent: Monday, January 23, 2023 8:17 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: FW: --{EXTERNAL}-- KCR Plains North Filing 2

Hi Nathan,

I hope you are doing well! Would you be able to assist with the inquiry below?

Thank you! 😊

Marisela Salas
(she/her/hers)
Jefferson County Planning and Zoning
Permit Technician
100 Jefferson County Parkway, Suite 3550
Golden, CO 80419
msalas@jeffco.us | planning.jeffco.us

Planning and Zoning is open to the public and appointments are strongly encouraged. Virtual and in-person appointments are available Monday through Thursday. County offices are closed on Fridays. Please schedule appointments [jeffco-planning-and-zoning-hqorx.appointlet.com] and submit applications online. Go to planning.jeffco.us for more information.

From: Matt Hinchliffe <ma.hinchliffe@gmail.com>
Sent: Wednesday, January 11, 2023 7:34 PM
To: PZ Web <pzweb@co.jefferson.co.us>
Subject: --{EXTERNAL}-- KCR Plains North Filing 2

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Can the applicant address the questions that were asked on Jan 11??

What is the elevation of the development? How will it affect the views?
Why can't they lower the elevation with a retaining wall and solve noise issues too

Why has the developer not considered nicer ranch level homes?

Does their slide 16 indeed show 3 story property? this is not allowed per the ODP

Water pressure is already an issue but has become worse as other developments have been completed. This will DEFINITELY become a problem with 200 more homes right on every doorstep.

There are many questions that are brushed over by this applicant

Matt Hinchliffe

From:	Wendi VanWoerkom
To:	David Abers; Nathan Seymour; Dennis Carruth (dennis@carruthproperties.com); Travis Frazier
Subject:	--{EXTERNAL}-- RE: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2
Date:	Monday, January 9, 2023 7:33:29 PM
Attachments:	1FD853832D0744E183D70479A278769A.png D6991317FE9D466CBED38F41D46AA23D.png

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PERFECT!
Dave, that sounds good to me. Please just let me know when and I am happy to meet on-site.
~Wendi

Wendi VanWoerkom
Manager/President
Koranda Properties, LLC
mikewendivw@gmail.com
720-980-5060

From: David Abers
Sent: Monday, January 9, 2023 5:16 PM
To: Wendi VanWoerkom; Nathan Seymour; Dennis Carruth (dennis@carruthproperties.com); Travis Frazier
Subject: RE: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

Wendi – apologies for the delayed response. Agree on everything and yes, we will remove the trail and revegetate. This is likely a few months away from being actionable. If okay with you, I'd like to have the meeting once we have a contractor selected and we can meet you onsite to talk specifics.

Ok with you?

Best,
Dave

From: Wendi VanWoerkom <mikewendivw@gmail.com>
Sent: Saturday, January 7, 2023 4:29 PM
To: David Abers <dabers@nadg.com>; Nathan Seymour <nseymour@co.jefferson.co.us>; Dennis Carruth (dennis@carruthproperties.com) <dennis@carruthproperties.com>; Travis Frazier <tfrazier@redland.com>
Subject: RE: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

Hello Dave –

Nathan send me the comment responses from Feb 2022 and I saw that most of the comment I had were addressed. Thank you.
The outstanding item to coordinate is the piece of trail that is on my property that I would like removed. I want to give the contractor access to that portion so that it can be removed and revegetated. I am guessing that we need to come up with an agreement for that. I have attached an additional google earth map with notes to point out the trail location.

Please feel free to contact me and we can even have a quick meeting if needed.
Thanks- Wendi

Wendi VanWoerkom
Manager/President
Koranda Properties, LLC
mikewendivw@gmail.com
720-980-5060

From: David Abers
Sent: Friday, January 6, 2023 4:56 AM
To: Nathan Seymour; Dennis Carruth (dennis@carruthproperties.com); Travis Frazier
Cc: Mike & WendiVanWoerkom; Michael Vanwoerkom
Subject: RE: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

Of Course. Wendi – when you get a moment, can you send over a mark up of what you originally sent to Nathan so that we can review and make sure we are answering all questions/concerns that you have?

Thanks,
Dave

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Thursday, January 5, 2023 10:32 PM
To: David Abers <dabers@nadg.com>; Dennis Carruth (dennis@carruthproperties.com) <dennis@carruthproperties.com>; Travis Frazier <tfrazier@redland.com>
Cc: Mike & WendiVanWoerkom <mikewendivw@gmail.com>; Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>
Subject: FW: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

Hi David,

Could you or someone from the development team reach out to Wendi to discuss any work adjacent to her property.

Thanks!

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

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From: Wendi VanWoerkom <mikewendivw@gmail.com>
Sent: Thursday, January 5, 2023 5:54 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>
Subject: --{EXTERNAL}-- RE: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

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Nathan –
Thank you for forwarding this. I had not seen the comment responses and appreciate the thought and care about them.
Also, I have NOT heard from the developer or owner about access and removal of the existing trail. I would like to connect with them. Please share my contract information with them and I can talk, meet, meet on-site with them.

Do you know when construction may start?
~Wendi

Wendi VanWoerkom
Manager/President
Koranda Properties, LLC
mikewendivw@gmail.com
720-980-5060

From: Nathan Seymour
Sent: Monday, December 26, 2022 6:06 PM
To: Mike & WendiVanWoerkom
Cc: Michael Vanwoerkom; Karen Burke
Subject: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2

Hi Wendi,

I was just going over the case file and realized I may never had responded to the email below. I'm very sorry.

Attached on pages 2 and 3 of the attached is the applicants response to your questions and concerns. Did the applicant ever reach out to discuss the removal and revegetation of the existing trail area? I'm happy to arrange a meeting if there are any items which you don't feel have been resolved or need further discussion.

Best,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

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From: Mike & WendiVanWoerkom <mikewendivw@gmail.com>
Sent: Monday, January 3, 2022 11:03 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>; Karen Burke <kburke@mccommercialrealestate.com>
Subject: --{EXTERNAL}-- Re: Comments on Case No. 21-136270PF

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Thank you!

Sent from my iPhone

> On Jan 3, 2022, at 10:23 AM, Nathan Seymour <nseymour@co.jefferson.co.us> wrote:
>
> Wendi,
>
> Thank you for your comments. Once I've had a chance to review and obtain additional information I'll provide a response to your questions/concerns.
> Best,
> **Nathan Seymour**

Civil Planning Engineer
303.271.8751

Due to staffing shortages, Planning and Zoning can no longer accommodate customers without an appointment. We are now open by appointment only (both virtual and in-person). We will resume serving customers without an appointment once new staff are hired. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Wendi VanWoerkom <mikewendivw@gmail.com>
Sent: Thursday, December 30, 2021 3:05 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>; Karen Burke <kburke@mccommercialrealestate.com>
Subject: --{EXTERNAL}-- Comments on Case No. 21-136270PF

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Nathan –
We received a postcard notice about the development adjacent to our property. The development (Ken Caryl Ranch North Plains Filing 2) is located directly east of our property at 7610 – 7640 S Alkire Place.

I have attached some redlines on the construction plan sheets I found online. I have marked some concerns about the possible disturbance to our landscape retaining walls. We purchased our property recently and have found that the quality of the construction of multiple features are not what they should be, and this includes my suspicion of the block landscape walls that retain the hillside that this new develop will be constructed on. The proposed plans for this development show multiple feet of earthwork removal, notes indicating 5' additional depth of the clayey soil reworked for utilities, and also the excavation work to build the houses foundations. I am very concerned that all this large equipment will vibrate our walls and jeopardize their structural integrity, if not make them fall over. What can be done to assure that the walls are not disturbed OR that the developer's contractor will repair any damage done to them?

Also, the existing trail located at the top of this wall will be relocated. The access from the back of the Safeway parking lot is presently on our property. I would like that portion of the trail also removed and then revegetated. We need to make it clear that access at the corner of our property is no longer an access point. I would love to work with the county or developer to allow access to our property to complete is bit of

work. How can we make this work official and documented correctly?

Lastly, I have a concern about the water service pressure. The pressure at our buildings is very low (~40 psi). With the addition of 200+ homes the pressure may drop to nothing and none of the plumbing fixtures will work for anyone. Can you show me how this will be mitigated? We all need more pressure if that is possible!

Please contact me directly by calling me (cell phone listed below) or email back. Thanks you for your review and sharing of the information of this development.

Wendi VanWoerkom
Manager/President
Koranda Properties, LLC
mikewendivw@gmail.com
720-980-5060

Nathan Seymour

From: kayla <kaylapaa@yahoo.com>
Sent: Tuesday, January 10, 2023 10:13 AM
To: Nathan Seymour
Cc: Lindsey Wire
Subject: Re: --{EXTERNAL}-- January 11 hearing

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Thank you! I am actually not part of the Coalition - I know all of them and show to the meetings and provide documents when requested, but I am actually not a member. Please don't read that as me saying that in a condescending or snippy way! Just letting you know.

Thank you are the speedy reply and all the hard work that has gone into this case!

Kayla Kirkpatrick

~*~

"The only deafness, the *real* deafness, the incurable deafness, is that of the intellect." - Victor Hugo

On Tuesday, January 10, 2023 at 09:08:12 AM MST, Nathan Seymour <nseymour@co.jefferson.co.us> wrote:

Good Morning Kayla,

Thanks for reaching out and I hope you are well too!

The January 11th hearing (Wednesday night at 6:15pm) is to bring the Parcel B or Filing 2 case to the Planning Commission. The Planning Commission will provide a recommendation to the Board of County Commissioners as to whether they believe the project should be approved or denied. As I believe you know the final decision will be made by the Board of County Commissioners. That hearing is scheduled for January 31st. Notice for these hearings was sent to all registered HOA's within 1 mile and property owners within 500'. I also sent it to the KCR Coalition email.

I have been playing phone tag with Brian Yowell on the appeal of the parking minor variation request. I hope to get in touch with him today. If the appeal moves forward my understanding is that it will need to be decided on prior to the BCC's decision on the overall case of Ken Caryl Ranch North Plains Filing 2.

If you would like to sign up to testify at the hearing you can use the link found here. Please let me know if you have any trouble.

Any other questions at all please reach out.

Nathan Seymour

Civil Planning Engineer

o 303.271.8751 | **www.jeffco.us**

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From: kayla <kaylapaa@yahoo.com>
Sent: Monday, January 9, 2023 9:12 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- January 11 hearing

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Hi, Nathan. I hope this finds you well in the new year!

I am contacting you regarding the orange sign January 11 hearing for NADG's parcel B. I wanted to email you directly because another person told me it is *not* a hearing to appeal the Parcel B parking issue. I am aware of the communication back and forth with the KCRMA Director Yowell, but I am not clear what it is about.

Next, I am confused about the timing of the meeting and noticing requirements. The orange signs appeared less than a week ago with the date of January 11. I am on the Sunshine Request list for anything related to the NADG/HMD/North Fields filings, and I did not hear anything at all, and still haven't. Is this a "low priority" meeting?

I am attaching the P&Z guide I have been using. I can't determine where this is in the process. IO apologize for troubling you with this, I have searched the (awesome) JeffCo site, read related materials, but I am not clear where this is in the process. Were mailings required for the January 11 hearing (I'm sure you recall that previously residents in the proximity complained they were not receiving referral and hearing information, and it was suggested the distance be expanded to contact residents/stakeholders).

I would appreciate very much if you could clarify these things for me, and/or direct me to where I can read more. Thank you very much!

Kayla Kirkpatrick

~*~

“The only deafness, the *real* deafness, the incurable deafness, is that of the intellect.” - Victor Hugo

Nathan Seymour

From: Nathan Seymour
Sent: Tuesday, January 10, 2023 10:11 PM
To: Fischer Family
Subject: RE: Questions on Filing 2
Attachments: KCR Filing No.2 - Parking Minor Variation Exhibit.pdf

Hi Kassie,

As always great questions.

Yes Fee in lieu is an option we can utilize when the County has a plan to make improvements in the near future. In this particular case, I believe that intersection is planned for improvements in 2024 by Transportation and Engineering. As such, we can request fees from the developer rather than having them construct the required improvements. It's not the typical way of handling improvements but can be a useful way to make the necessary improvements by our contractors on our terms, especially when we already have a project planned.

Yes all of the other required improvements will occur and will be the responsibility of the developer to complete as shown on the construction plans. This includes the light at King Soopers and all the signing/striping modifications in Ken Caryl. Let me know if you have more detailed questions. Sheet 64 of Civil CDs shows this pretty well.

Yes, in an effort to increase the square footage of the covered parking areas the developer has made some changes. We are in the process of updating the Minor Variation Request to incorporate the changes and will have this done prior to going before the BCC. In essence there is less of a MVR needed. Attached is the latest copy of the parking plan. Also you've probably heard but Ken Caryl Ranch Masters Association is challenging the Directors decision on the MVR for parking square footage reduction.

Lastly we are working on a Plat note to ensure that the appropriate building sites incorporate the proper noise mitigation. The note will read something like this…

Building Permits on Block 1 Lots 10, 11, 21, 22 and Block 3 Lots 1-33 shall utilize building construction materials that provides additional noise mitigation including, but not limited to, attic space insulation, exterior glazing and higher rating windows. Prior to issuance of a building permit a certification shall be provided by the project architect stating that the appropriate construction materials have been incorporated to mitigate noise levels.

Any more questions please let me know.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | www.jeffco.us

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Tuesday, January 10, 2023 3:50 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Questions on Filing 2

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Hi Nathan,

Questions for you, I'm looking at the staff packet, and I see where the 12/6/22 memo from Ross (page 67 of the packet) says "Ken Caryl & Simms-Chatfield Traffic Signal Fee in lieu will be required to be provided to the County at time of Plat recordation." Does that mean the Ken-Caryl & Simms Chatfield intersection work is going to be done by the county, and the developer is simply paying for it up front? Is that typical for this type of development? Is the intersection still going to be changed to have a double left lane from east bound Ken Caryl onto north bound Simms, along with the re-alignment of the crosswalks and the other items initially required by the County for that intersection?

Also, it sounds like the developer has made a change to some of the parking/garage sizes. Do they have to supply a current parking plan for the PC or BCC hearings? or is that something that is supplied with the building permits? Is it typical for a developer to make changes to the structures/homes at this phase of the plat process?

The ASR issued for the noise issue/sensory impact mentions some of the building materials that must be used in order for the development to comply with the Jefferson County Regulation for sensory impact . "This will include utilizing building construction material that provides additional noise mitigation and includes attic space insulation, exterior glazing and higher rating windows in order to ensure interior noise levels do not exceed 45dBA." How is this requirement enforced during building? Does the building department review the plans to see if the materials are being incorporated into design? Does a report get filed, or an inspection performed, to verify the materials were installed? what happens if they don't utilize materials that provide additional noise mitigation? There is a house on the south east corner of Ken Caryl and Chatfield Ave that had trouble going under contract due to the amount of noise at that intersection, so it is very important that the noise mitigation requirements be adhered to.

Thanks!
Kassie

Nathan Seymour

From: Nathan Seymour
Sent: Tuesday, January 10, 2023 9:08 AM
To: kayla
Cc: Lindsey Wire
Subject: RE: --{EXTERNAL}-- January 11 hearing

Good Morning Kayla,

Thanks for reaching out and I hope you are well too!

The January 11th hearing (Wednesday night at 6:15pm) is to bring the Parcel B or Filing 2 case to the Planning Commission. The Planning Commission will provide a recommendation to the Board of County Commissioners as to whether they believe the project should be approved or denied. As I believe you know the final decision will be made by the Board of County Commissioners. That hearing is scheduled for January 31st. Notice for these hearings was sent to all registered HOA's within 1 mile and property owners within 500'. I also sent it to the KCR Coalition email.

I have been playing phone tag with Brian Yowell on the appeal of the parking minor variation request. I hope to get in touch with him today. If the appeal moves forward my understanding is that it will need to be decided on prior to the BCC's decision on the overall case of Ken Caryl Ranch North Plains Filing 2.

If you would like to sign up to testify at the hearing you can use the link found here. Please let me know if you have any trouble.

Any other questions at all please reach out.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

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From: kayla <kaylapaa@yahoo.com>
Sent: Monday, January 9, 2023 9:12 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- January 11 hearing

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Hi, Nathan. I hope this finds you well in the new year!

I am contacting you regarding the orange sign January 11 hearing for NADG's parcel B. I wanted to email you directly because another person told me it is *not* a hearing to appeal the Parcel B parking issue. I am aware of the communication back and forth with the KCRMA Director Yowell, but I am not clear what it is about.

Next, I am confused about the timing of the meeting and noticing requirements. The orange signs appeared less than a week ago with the date of January 11. I am on the Sunshine Request list for anything related to the NADG/HMD/North Fields filings, and I did not hear anything at all, and still haven't. Is this a "low priority" meeting?

I am attaching the P&Z guide I have been using. I can't determine where this is in the process. IO apologize for troubling you with this, I have searched the (awesome) JeffCo site, read related materials, but I am not clear where this is in the process. Were mailings required for the January 11 hearing (I'm sure you recall that previously residents in the proximity complained they were not receiving referral and hearing information, and it was suggested the distance be expanded to contact residents/stakeholders).

I would appreciate very much if you could clarify these things for me, and/or direct me to where I can read more. Thank you very much!

Kayla Kirkpatrick

~*~*~*

Nathan Seymour

From: Nathan Seymour
Sent: Thursday, January 5, 2023 9:58 PM
To: Laura Neal –
Subject: Ken Cary Ranch North Plains Filing 2 Information

Hi Laura,
It was nice speaking with you today. I wanted to follow up with some additional information to your questions. The responses in red are from the applicant.

1. Will the townhomes be for rent or sale?
   We have designed and are intending on Parcel B to be for-sale units. It's really dependent upon the market that we are delivering into, but the design of these units (quality, finishes, etc) is to be for-sale (higher-end product).
2. Is there any extra parking provided that could be used by anyone when a resident has a party or larger gathering?
   Yes, there will be 18 bay parking spaces and an additional 16 parallel parking spaces. Please note that the overall site parking is 3.86 spaces per unit, which we believe is more than ample/more than provided elsewhere.
3. Will any snow removal be taken care of by the Metro District or other entity?
   The loop road will be public and handled by JeffCo. The Metro District will maintain and handle snow removal on all of the remaining roadways. For the units with the reduction in the covered parking, it's important to note that these are smaller units and will have a very oversized 1-car garage (almost the size of a 2-car garage). This should alleviate some of the storage concerns. On the parking, the driveway for every single unit will be able to accommodate 2 cars (apron outside of the garage). The dead end streets will also allow for snow removal/storage.

Regarding the link to testify for hearing. The details can be found here. Please let me know if you have any trouble.

Best,

Nathan Seymour
Jefferson County Planning and Zoning
Civil Planning Engineer
o 303.271.8751
nseymour@jeffco.us | **www.jeffco.us**

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Nathan Seymour

From: Nathan Seymour
Sent: Wednesday, January 4, 2023 4:56 PM
To: Ken Whiteacre
Cc: Susan Wade; Dennis Carruth (dennis@carruthproperties.com); David Abers
Subject: RE: --{EXTERNAL}-- NADG Parcel B

Good Afternoon Ken,

I don't have any details on the style or architecture planned for Parcel B. However, I am copying members of the applicants team which I'm fairly certain can help you out.

Best,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

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From: Ken Whiteacre <director4@sunsetridgetownhouse.com>
Sent: Wednesday, January 4, 2023 4:52 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- NADG Parcel B

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Nathan,

My name is Ken Whiteacre and I am Vice President of the Sunset Ridge HOA. I am interested in seeing what the townhomes proposed for Parcel B look like. Do you have any pictures or brochures showing examples of these units? If you do not have anything of this nature, could you put me in touch with someone who does?

Thank you!

Ken Whiteacre
Sunset Ridge HOA

Nathan Seymour

From: Nathan Seymour
Sent: Friday, January 14, 2022 10:20 AM
To: Mark Carr
Subject: RE: Cases 21-137134ASR, 21-136270PF
Attachments: West Metro.pdf; ODP 1979 Rec 79062009.pdf

Hi Mark,

Thanks for your questions. See my responses below and let me know if you have any other questions.

- I'm assuming that achieving the planned 201 residential lots is dependent on the request to reduce intersection and driveway spacing. Is that correct? It's hard for me to answer this question, I can say that the current layout and site plan is hinging on the approval of the ASR for intersection and driveway spacing. If the ASR were to be denied, the engineer may still be able to configure the lots in a way to obtain 201 lots, I'm just not sure.
- Will the reduced intersection and driveway spacing still allow for larger trucks such as semi-trailer moving vans to move in and out of the area? As far as I'm aware the minimum turning radius requirements are being met and the intersection and driveway spacing should not affect larger trucks or semi's from moving through the area. I've attached West Metro's comments. Resolution of all West Metro comments will be required prior to approval of this case.
- West Metro has agreed to accept the development for fire protection. Have they signed off that their fire apparatus will have the necessary access to all the units with the reduced spacing? I need to follow up with West Metro. It is unclear whether the layout has been reviewed by them at this time. The County will verify that the layout is satisfactory prior to moving this case forward to hearing.
- Have maximum residence heights been covered yet? Or too early in the process? The maximum height allowed per the Official Development Plan is 30' but the specifics won't be required to be identified until the time of building permits.

Nathan Seymour
Civil Planning Engineer
303.271.8751

Due to staffing shortages, Planning and Zoning can no longer accommodate customers without an appointment. We are now open by appointment only (both virtual and in-person). We will resume serving customers without an appointment once new staff are hired. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Mark Carr <mcarr@co.jefferson.co.us>
Sent: Wednesday, December 22, 2021 2:50 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: Cases 21-137134ASR, 21-136270PF

Nathan,

I live in the Sunset Ridge Townhomes just south of the property covered by Cases 21-137134ASR and 21-136270PF. Personally I'm sorry to see the land being developed, but it was inevitable. Just a couple of questions:

- I'm assuming that achieving the planned 201 residential lots is dependent on the request to reduce intersection and driveway spacing. Is that correct?
- Will the reduced intersection and driveway spacing still allow for larger trucks such as semi-trailer moving vans to move in and out of the area?
- West Metro has agreed to accept the development for fire protection. Have they signed off that their fire apparatus will have the necessary access to all the units with the reduced spacing?
- Have maximum residence heights been covered yet? Or too early in the process?

Thanks.

Mark Carr
Sr. PM-BA – Innovation Team
Jefferson County – Business Innovation & Technology
o 303.271.8866 **c** 720.320.0122
mcarr@jeffco.us

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"The true sign of intelligence is not knowledge but imagination" - Albert Einstein

Nathan Seymour

From: Fischer Family <tandkathome@hotmail.com>
Sent: Friday, September 2, 2022 1:45 PM
To: Nathan Seymour; Ross Klopf
Cc: Victoria DeSair; Brian Yowell
Subject: --{EXTERNAL}-- Re: -- KCR North Plains, cases 21-136270PF

Follow Up Flag: Follow up
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Hi Nathan,

I do have a few questions regarding traffic safety for this case 21-136270PF (Filing 2, Parcel B):

1. Does a vehicle traveling south on Chatfield have adequate sight distance (AASHTO Green Book with a posted speed of 40mph) to be able to A) stop if a vehicle exits abruptly from the development B) appropriately slow down for a right turn into the development.

2. Does a vehicle exiting the development have adequate sight distance from the left per Jefferson County Transportation Design And Construction Manual, pg 17.

3. As a vehicle is leaving the development and turning right/south onto Chatfield, drivers will primarily be focused on finding a gap in traffic to the left and not focused on pedestrians crossing at the crosswalk to the right. Is there adequate distance between the development road and the crosswalk to maintain (or have?) pedestrian safety?

Can you forward the responses to me, and also Ross's update on line of sight (per below).

Thanks so much,
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Thursday, August 18, 2022 1:28 PM
To: Fischer Family <tandkathome@hotmail.com>; Lindsey Wire <lwire@co.jefferson.co.us>; Ross Klopf <rklopf@co.jefferson.co.us>; Nick Nelson <nnelson@co.jefferson.co.us>
Cc: Pat OConnell <poconnel@co.jefferson.co.us>; Chris OKeefe <cokeefe@co.jefferson.co.us>
Subject: RE: -- KCR North Plains, cases 21-136270PF, and 22-108893SD

Hello and thank you for the follow up! Believe it or not your email was on my list of things to follow up on and I have been looking at Filing 2 this morning.

You should see an email soon but I just sent Ken Caryl Ranch North Plains Filing 2 documents back out on the 3rd referral. I've asked that you be included on the correspondence. Comments are due back to me September 1st.

Regarding the MVR requests, we've had some trouble with turnover so the original planners assigned are no longer with the County. The planning supervisor Nick Nelson is aware and on top of re-assignment. I'll leave it up to him or planner assigned to confirm but don't believe it should be an issue to have it reviewed by the architectural committee.

Ross will be reviewing the referral again in the coming few weeks and will take a detailed look at the line of sight and provide an update at that time.

Any other comments or questions please let me know!

Best,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [nam12.safelinks.protection.outlook.com]

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Thursday, August 18, 2022 12:32 PM
To: Lindsey Wire <lwire@co.jefferson.co.us>; Nathan Seymour <nseymour@co.jefferson.co.us>; Ross Klopf <rklopf@co.jefferson.co.us>; Nick Nelson <nnelson@co.jefferson.co.us>
Cc: Pat OConnell <poconnel@co.jefferson.co.us>; Chris OKeefe <cokeefe@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: -- KCR North Plains, cases 21-136270PF, and 22-108893SD

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Hi,
I am following up on the questions, below, as we have not heard back.

We are asking about the Minor Variation Requests to the ODP Parking Requirements for the above cases. We would like to have the requests reviewed by the Ken Caryl architectural committee. Is there a deadline to have their comments provided? If so what are those deadlines (per parcel)?

Also, we are wondering what the status is for the above cases. It looks like Case 21-136270PF is in the second referral and waiting for comments back from the applicant? And Case 22-108893SD is in the first referral and also waiting for comments back from the applicant?

Finally, Ross had mentioned at the site visit for 21-136270PF that the line of sight on the east side of the parcel on Ken Caryl Avenue needs to be re-measured, or was going to be re-measured. Please provide this information.

Thank you!

From: Fischer Family <tandkathome@hotmail.com>
Sent: Monday, July 25, 2022 6:04 PM
To: Lindsey Wire <lwire@co.jefferson.co.us>; Nathan Seymour <nseymour@co.jefferson.co.us>; Ross Klopf <rklopf@co.jefferson.co.us>; nnelson@jeffco.us <nnelson@jeffco.us>
Cc: Pat OConnell <poconnel@co.jefferson.co.us>; realmarbar@gmail.com <realmarbar@gmail.com>; gail@msccm.com <gail@msccm.com>; Aspenfund <aspenfund@aol.com>; Harrie Hughes <harrie.hughes@live.com>
Subject: Re: -- KCR North Plains, cases 21-136270PF, and 22-108893SD

Hi Nathan and Nick,

We are asking about the Minor Variation Requests to the ODP Parking Requirements for the above cases. We would like to have the requests reviewed by the Ken Caryl architectural committee. Is there a deadline to have their comments provided? If so what are those deadlines (per parcel)?

Also, we are wondering what the status is for the above cases. It looks like Case 21-136270PF is in the second referral and waiting for comments back from the applicant? And Case 22-108893SD is in the first referral and also waiting for comments back from the applicant?

Thank you!
Kassie Fischer

From: KCR Coalition <kcrcoalition@gmail.com>
Sent: Wednesday, July 20, 2022 1:13 PM
To: Lindsey Wire <lwire@co.jefferson.co.us>; Nathan Seymour <nseymour@co.jefferson.co.us>; jbotts@co.jefferson.co.us <jbotts@co.jefferson.co.us>; Ross Klopf <rklopf@co.jefferson.co.us>
Cc: Pat OConnell <poconnel@co.jefferson.co.us>; kaberry@mines.edu <kaberry@mines.edu>; acrandall@mines.edu <acrandall@mines.edu>; realmarbar@gmail.com <realmarbar@gmail.com>; tandkathome@hotmail.com <tandkathome@hotmail.com>; denverjerry@hotmail.com <denverjerry@hotmail.com>; gail@msccm.com <gail@msccm.com>
Subject: Re: -- KCR North Plains, cases 21-121001PF, 21-136270PF, and 22-108893SD

Hi,
Just following up on our request, below. Nathan & Ross can you reply to the items highlighted below? Also, Nathan & Joshua - we had sent an email a few days ago requesting information on the variation requests on parking, can you let us know the case numbers and status on those?

Thank you Lindsey for providing the responses on your case, much appreciated!

On Mon, Jul 11, 2022 at 5:10 PM Lindsey Wire <lwire@co.jefferson.co.us> wrote:

Hi Everyone,

Please see attached and below for a summary response.

Thank you!

Documents/information from the county

- Digitized/clearer copy of the KCR ODP. I could not find it on the Jeffco website, please send a link or a copy of the document.

  I have attached a copy of these documents (Reception Numbers 73554186, 78093741, 79062009). Please let me know if you have any questions.

- Copy of the developer's comprehensive plan to excavate and transfer soil from Case 21-136270pf (Parcel B) to Case 21-121001PF (Parcel A). If this document is not available, please advise what stage of review it is in and when it is anticipated to be available.

  I have attached the preliminary plan. I understand that the developer is still working through negotiations with RTD for this route and the ultimate route plan would be approved by the County.

- Case 21-136270PF - Ross mentioned that the line of sight on the east side of the parcel on Ken Caryl Avenue needs to be re-measured, or was going to be re-measured. Please provide this information.

  To be addressed by Nathan Seymour and Ross Klopf.

- Information related to the grade at the property borders of Case 22-108893 (Parcel C) and Mountain Gate III. Lindsey was going to send this information to Gail.

  Please see attached. This information was also emailed to and discussed with Gail separately.

- Jerry has questions and concerns related to Case 21-121001PF (Parcel A) and Case 22-108893 (Parcel C) and also Tract B (the previous school land) regarding on-site water, off-site water and the detention pond. Rather than try to summarize Jerry's concerns, who would be a good person for him to contact at the County?

  Jerry – Please send your questions to myself, Nathan Seymour, Ross Klopf and Pat O'Connell and we can work together to provide a response.

Follow up questions

Jefferson County fire code requirements, Lindsey mentioned this is being revised and in the second referral. I was unable to find it on the Jeffco website. Can you provide a link to the public documents?

Please use this link [nam12.safelinks.protection.outlook.com] [nam12.safelinks.protection.outlook.com] to view the proposed regulation updates.

Cases 21-121001PF and 21-136270PF, what are the outstanding items for these Parcels? Is the County recommending denial, or approval with conditions, and if so what are the outstanding conditions?

Please follow this link [nam12.safelinks.protection.outlook.com] [nam12.safelinks.protection.outlook.com] for the PC Hearing Packet which lists the conditions of approval for 21-121001PF. Nathan Seymour to follow up on Filing 2.

Lindsey Wire, P.E.
Planning & Zoning
Engineering Supervisor
303.271.8717
lwire@jeffco.us | **planning.jeffco.us** [nam12.safelinks.protection.outlook.com]
[nam12.safelinks.protection.outlook.com]

JEFFERSON COUNTY COLORADO

Planning and Zoning will be closed to the public on Monday, June 6 and on Monday, June 27. During these two days, Planning and Zoning staff will be working to improve our processes so that we can provide better customer service. We apologize for any inconveniences this may cause.

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments [nam12.safelinks.protection.outlook.com] [nam12.safelinks.protection.outlook.com] and submit applications [nam12.safelinks.protection.outlook.com] [nam12.safelinks.protection.outlook.com] online. Go to planning.jeffco.us [nam12.safelinks.protection.outlook.com] [nam12.safelinks.protection.outlook.com] for more information.

From: KCR Coalition <kcrcoalition@gmail.com>
Sent: Thursday, June 30, 2022 3:25 PM
To: Lindsey Wire <lwire@co.jefferson.co.us>; Nathan Seymour <nseymour@co.jefferson.co.us>; Joshua Botts <jbotts@co.jefferson.co.us>; Ross Klopf <rklopf@co.jefferson.co.us>; Pat OConnell <poconnel@co.jefferson.co.us>; kaberry@mines.edu; acrandall@mines.edu; harrie.hughes@live.com; realmarbar@gmail.com; tandkathome@hotmail.com; denverjerry@hotmail.com; gail@msccm.com
Subject: --{EXTERNAL}-- KCR North Plains, cases 21-121001PF, 21-136270PF, and 22-1088935D

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Hello,

Thank you again for meeting on site to discuss concerns with the above referenced KCR North Plains developments. As a follow up, there were documents and information that were going to be shared between the groups. I've attempted a list below, please let me know if I've missed anything.

Documents to send to the County

Fire wise document to Lindsey "Protecting your home from wildfire" by CSU, attached.

Ken Caryl Ranch Master Declaration of covenants, conditions and restrictions to Lindsey, attached.

Documents/information from the county

Digitized/clearer copy of the KCR ODP. I could not find it on the Jeffco website, please send a link or a copy of the document.

Copy of the developer's comprehensive plan to excavate and transfer soil from Case 21-136270pf (Parcel B) to Case 21-121001PF (Parcel A). If this document is not available, please advise what stage of review it is in and when it is anticipated to be available.

Case 21-136270PF - Ross mentioned that the line of sight on the east side of the parcel on Ken Caryl Avenue needs to be re-measured, or was going to be re-measured. Please provide this information.
Information related to the grade at the property borders of Case 22-108893 (Parcel C) and Mountain Gate III. Lindsey was going to send this information to Gail.

Jerry has questions and concerns related to Case 21-121001PF (Parcel A) and Case 22-108893 (Parcel C) and also Tract B (the previous school land) regarding on-site water, off-site water and the detention pond. Rather than try to summarize Jerry's concerns, who would be a good person for him to contact at the County?

Follow up questions

Jefferson County fire code requirements, Lindsey mentioned this is being revised and in the second referral. I was unable to find it on the Jeffco website. Can you provide a link to the public documents?

Cases 21-121001PF and 21-136270PF, what are the outstanding items for these Parcels? Is the County recommending denial, or approval with conditions, and if so what are the outstanding conditions?

Thank you!

Nathan Seymour

From: Nathan Seymour
Sent: Monday, August 29, 2022 8:39 AM
To: Paul Scarponcini
Cc: Ross Klopf
Subject: RE: --{EXTERNAL}-- Parcel B of the Land Development project

Hi Paul,
I apologize that I missed your previous inquiry. Although I can't speak for the applicant on why they chose the layout they did, I can say that I don't believe the Alkire access would have sufficiently supported all of the existing commercial and proposed residential uses. Additionally, even in the Traffic Study had proven to be sufficient there would have been some challenges with obtaining legal access (if any work was outside of ROW) as well as meeting design standards like intersection spacing.

Nathan Seymour
Civil Planning Engineer

o 303.271.8751 | **www.jeffco.us**

JEFFERSON COUNTY COLORADO

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Paul Scarponcini <paul.scarponcini@gmail.com>
Sent: Friday, August 26, 2022 1:20 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Parcel B of the Land Development project

CAUTION: This email originated from outside Jefferson County Government. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Why are you not using Alkire as an access point as the west bound Ken Caryl left turn is already accommodated and allows for more cars to stack up for the left turn than does the proposed King Sooper road intersection.
Please respond, as you ignored my previous inquiry.

--
Paul Scarponcini
720-810-9021

Nathan Seymour

From: Nathan Seymour
Sent: Monday, August 29, 2022 3:53 PM
To: Paul Scarponcini
Subject: RE: --{EXTERNAL}-- Parcel B of the Land Development project

Hi Paul,

Thanks for the follow up and agree with your concerns.

Based on Staffs review of the traffic study there would be a 95 percentile queue of less than 2 vehicles, therefore queue spill-back out of the left turn lane into the through lanes shouldn't be an issue. It looks like only about 11 vehicles making that movement in the peak hour, meaning there will be an average of only one vehicle every 3rd cycle of the signal.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

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From: Paul Scarponcini <paul.scarponcini@gmail.com>
Sent: Monday, August 29, 2022 1:01 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: Re: --{EXTERNAL}-- Parcel B of the Land Development project

Thanks for your reply.
I am just afraid the west bound Ken Caryl left turn lane is too short which will back traffic up into the simms intersection. Perhaps no left turn would have been better forcing people to turn left at simms then head south to a right turn entrance into the site. Always better to have access off a minor street than an arterial one.
Paul

On Mon, Aug 29, 2022 at 8:39 AM Nathan Seymour <nseymour@co.jefferson.co.us> wrote:

> Hi Paul,
>
> I apologize that I missed your previous inquiry. Although I can't speak for the applicant on why they chose the layout they did, I can say that I don't believe the Alkire access would have sufficiently supported all of the existing commercial and proposed residential uses. Additionally, even in the Traffic Study had proven to be sufficient there would have been some challenges with obtaining legal access (if any work was outside of ROW) as well as meeting design standards like intersection spacing.

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Nathan Seymour

Civil Planning Engineer

o 303.271.8751 | **www.jeffco.us**

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COUNTY CO

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From: Paul Scarponcini <paul.scarponcini@gmail.com>
Sent: Friday, August 26, 2022 1:20 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Parcel B of the Land Development project

CAUTION: This email originated from outside Jefferson County Government. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Why are you not using Alkire as an access point as the west bound Ken Caryl left turn is already accommodated and allows for more cars to stack up for the left turn than does the proposed King Sooper road intersection.

Please respond, as you ignored my previous inquiry.

--

Paul Scarponcini
720-810-9021

Nathan Seymour

From: Nathan Seymour
Sent: Wednesday, December 21, 2022 12:52 PM
To: Fischer Family
Subject: RE: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Section 29.B.1 of the Zoning Resolution states:
The PD Zone District may include uses of any nature (residential, commercial, conservation, mining,industrial, public or quasi-public, etc.), however, the uses and standards for a PD Zone District are limited to those included in the Official Development Plan (ODP).

In this case, the parking standards are limited to those standards listed in the Ken Caryl ODP.

Hope this helps!

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

JEFFERSON COUNTY COLORADO

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Fischer Family <tandkathome@hotmail.com>
Sent: Tuesday, December 20, 2022 4:14 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,
Thank you. Where is it stated that the ODP supersedes the ZR?

I appreciate your time getting all these questions answered!
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Tuesday, December 20, 2022 3:45 PM
To: Fischer Family <tandkathome@hotmail.com>
Subject: RE: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Hi Kassie,

The ODP parking requirements supersede the Zoning Resolution. If parking requirements were not included in the ODP or if this was a straight zone district then we would refer to the ZR.

Any other questions please let me know.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [na01.safelinks.protection.outlook.com]

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Tuesday, December 20, 2022 2:25 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,
Thank you for forwarding that. If the bedroom count is unknown, how is the Developer showing that they are in compliance with Section 14 of the Jefferson County Zoning Resolution?

Thank you,
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Tuesday, December 20, 2022 1:43 PM
To: Fischer Family <tandkathome@hotmail.com>
Subject: FW: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

See below for answer to you question.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

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From: Travis Frazier <tfrazier@redland.com>
Sent: Tuesday, December 20, 2022 1:42 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- RE: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Nathan,

We are still finalizing bedrooms counts. Some of the townhomes have basements which can provide for optional bedrooms and the frontload product is still being design. As a result, we do not have a bedroom count at this time. All of our parking counts were based on the number of units.

Thank you.
Travis Frazier, P.E.
Sr. Project Manager
Associate Principal
Redland
WHERE GREAT PLACES BEGIN
1500 West Canal Court
Littleton, CO 80120
Office: (720) 283-6783 x126
Cell: (303) 875-7193
tfrazier@redland.com
www.redland.com [redland.com] [na01.safelinks.protection.outlook.com]
[na01.safelinks.protection.outlook.com]

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Tuesday, December 20, 2022 12:14 PM
To: Travis Frazier <tfrazier@redland.com>
Subject: [External] FW: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hi Travis,
I received this question and was wondering if this is information your team has at this point?

Question, did the developer provide the 'bedroom spaces per unit' for Parcel B?

Thanks!
Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [linkprotect.cudasvc.com] [na01.safelinks.protection.outlook.com]
[na01.safelinks.protection.outlook.com]
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From: Fischer Family <tandkathome@hotmail.com>
Sent: Thursday, December 15, 2022 1:45 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,
Thank you for pinging Nick.

Question, did the developer provide the 'bedroom spaces per unit' for Parcel B? Can you send me a copy, or point me to the folder where it is? I don't see it listed on the parking exhibit.

Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Thursday, December 15, 2022 12:32 PM
To: Fischer Family <tandkathome@hotmail.com>; Nick Nelson <nnelson@co.jefferson.co.us>
Subject: RE: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Hi Kassie,

I will let the Masters Association and the Architectural Control Committee know that a Minor Variation was approved. Nick has been losing staff left and right so it's been tough for him. I'll remind him again to reach out.

@Nick Nelson – Please reach out to Kassie regarding Parcel C.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Thursday, December 15, 2022 12:21 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,
Thank you. Has the KC Master Association or the Architectural Control Committee been notified that this development is not going to be in compliance with the ODP?

Also, do you know if Nick Nelson is around? I've been emailing him since we found out he is the planner for Parcel C and have not gotten a single response.

Thanks!
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Thursday, December 8, 2022 10:07 AM
To: Fischer Family <tandkathome@hotmail.com>
Cc: Ross Klopf <rklopf@co.jefferson.co.us>
Subject: RE: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Hi Kassie,

The MVR was approved by the Director Chris O'Keefe. See attached for details.

As an FYI, it's not official yet but I have requested hearing dates of Jan. 11th and 31st for this case.

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Wednesday, December 7, 2022 2:34 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>

Cc: Ross Klopf <rklopf@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,

Thank you (and Ross) for reviewing that site distance. I appreciate your time in making sure that intersection is safe and in compliance.

I did see the letter from the Architectural Committee regarding the proposed parking that is not in compliance with the ODP in the third referral folder. I am not able to pull up the MVR folder using the Jeffco Case Number search. Can you let me know what the status is of the parking issue?

Thanks!
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Monday, December 5, 2022 11:54 AM
To: Fischer Family <tandkathome@hotmail.com>
Cc: Ross Klopf <rklopf@co.jefferson.co.us>
Subject: RE: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Hi Kassie,

Ross reviewed the attached exhibit (which incorporates the vertical curve into the equation) with input from our Transportation and Engineering division and determined that the appropriate site distance is in place for this intersection at Chatfield.

Let me know if there is anything further I can help with.
Best,
Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

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From: Fischer Family <tandkathome@hotmail.com>
Sent: Monday, November 21, 2022 11:27 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Ross Klopf <rklopf@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Re: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

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Hi Nathan,

Thank you for the info. I do have the remaining question of what Ross was referring to when he said something might need to be remeasured?

Also, the Ken Caryl MA had sent a letter regarding the parking in Parcel B/Filing 2 not complying with the ODP. I don't' see that letter in the Public Documents, can you let me know which folder it is in?

Thanks!
Kassie

From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Tuesday, November 15, 2022 8:01 AM
To: Fischer Family <tandkathome@hotmail.com>
Cc: Ross Klopf <rklopf@co.jefferson.co.us>
Subject: Ken Caryl Ranch North Plains Filing 2 - Responses to your questions

Good Morning Kassie,

I wanted to follow up and provide you with some additional information regarding your traffic related questions and an exhibit showing the site distance at Chatfield.
Please let Ross and I know if you have any further questions or concerns.

Best,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us** [nam12.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments [nam12.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] and submit applications [nam12.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] online. Go to planning.jeffco.us [nam12.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com] [na01.safelinks.protection.outlook.com]

Nathan Seymour

From: Nathan Seymour
Sent: Monday, January 3, 2022 11:02 AM
To: Mary Duffens
Subject: RE: --{EXTERNAL}-- Case # 21-136270PF
Attachments: 3. Preliminary Supplemental Plan 2021-11-01.pdf

Hello Mary,

Happy New Year.

Based on the plan currently provided they will be townhomes. Each unit or lot would be able to be sold to individual single family owners. Attached is a basic site plan for reference. If this case were to be approved each lot would be assigned an address and a building permit would be required for each lot.

If you have any additional questions please let me know.
Best,
Nathan Seymour
Civil Planning Engineer
303.271.8751

Due to staffing shortages, Planning and Zoning can no longer accommodate customers without an appointment. We are now open by appointment only (both virtual and in-person). We will resume serving customers without an appointment once new staff are hired. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Mary Duffens <mduffens@comcast.net>
Sent: Thursday, December 30, 2021 10:14 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Case # 21-136270PF

CAUTION: This email originated from outside Jefferson County Government. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Nathan:
Wanting to know regarding the mentioned case number above, Ken-Caryl Ranch North Plains Filing 2.

The purpose states: Preliminary and Final Plat to subdivide the applicable parcel of land into 201 single family attached lots, roadways, greenbelts, parks, landscape, trails and associated uses.

Are you able to tell me if these will be townhomes or apartments and/or a mixture of both?

Thanks so much, and Happy New Year.

Mary Duffens
720-352-6909

Nathan Seymour

From: Cari Eversman <cari@eversman.com>
Sent: Friday, January 14, 2022 10:03 AM
To: Nathan Seymour
Subject: --{EXTERNAL}-- Re: JeffCo Zoning- Ken Caryl Ranch

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Thank you so much for following up on this. I really appreciate it.

Cari Eversman

On Fri, Jan 14, 2022 at 9:54 AM Nathan Seymour <nseymour@co.jefferson.co.us> wrote:

> Hi Cari,
>
> I've attached the response received from Jefferson County Schools.
>
> Please let me know if you have any further questions.
>
> Thanks,
>
> **Nathan Seymour**
>
> Civil Planning Engineer
>
> 303.271.8751
>
> Due to staffing shortages, Planning and Zoning can no longer accommodate customers without an appointment. We are now open by appointment only (both virtual and in-person). We will resume serving customers without an appointment once new staff are hired. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Nathan Seymour
Sent: Wednesday, December 8, 2021 11:25 AM
To: Cari Eversman <cari@eversman.com>
Subject: RE: --{EXTERNAL}-- Fwd: JeffCo Zoning- Ken Caryl Ranch

Hi Cari,

As soon as I hear back from Jefferson County Schools on this project I'll let you know. At this point, I don't have an answer for you. For clarification the units proposed are Single family attached units or townhomes. Each unit would be assigned a lot. There are no apartments proposed.

Nathan Seymour

Civil Planning Engineer

303.271.8751

Planning and Zoning is open to the public and we are offering both virtual and in-person appointments. For the convenience and safety of the public and our staff, virtual appointments are encouraged. Many staff are still working remotely to provide online and virtual services Monday through Thursday. County offices are closed on Fridays. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Cari Eversman <cari@eversman.com>
Sent: Monday, December 6, 2021 1:55 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Fwd: JeffCo Zoning- Ken Caryl Ranch

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What school will this new apartment complex be assigned to?

Cari Eversman

---------- Forwarded message ---------
From: **Meadows Sanctuary** <steigen@msihoa.com>
Date: Mon, Dec 6, 2021 at 12:17 PM
Subject: JeffCo Zoning- Ken Caryl Ranch
To: <cari@eversman.com>

FYI,

From JeffCo Zoning,
Please direct your questions to the case manager for Jeffco not MSI.

Electronic Referral

-

Jefferson County, Colorado

Documents related to a Preliminary and Final Plat have been submitted to Jefferson County Planning and Zoning. This case is now beginning the 1st Referral part of the process. Please review the specific electronic documents related to the 1st Referral found here. Comments on the Preliminary and Final Plat should be submitted electronically to the Case Manager by the due date below.

Case Type: **Preliminary and Final Plat**

Case Number: **21-136270PF**

Case Name: **Ken Caryl Ranch North Plains Filing No. 2**

Address: **AIN/PIN: 59-321-00-007**

General Location: **Southwest of the intersection of W. Ken Caryl Avenue and W. Chatfield Avenue**

Purpose: **To subdivide the property into 201 lots for single family attached units.**

Comments Due: **Friday December 24, 2021**

Case Manager: **Nathan Seymour**

Case Manager Contact Information:
nseymour@jeffco.us **303-271-8751**

The entire case file for this application can be viewed **here**.

Case Type: Preliminary - Final Plat

Case Number: 21-136270PF

Case Name: Ken Caryl Ranch North Plains Filing 2

Where: PIN 59-321-00-007

General Location: Located at the southwest intersection of W. Chatfield Avenue and W. Ken Caryl A

Case Manager: Nathan Seymour, (303)271-8751, nseymour@jeffco.us

Purpose: Preliminary and Final Plat to subdivide the applicable parcel of land into 201 single family attached residential lots, roadways, greenbelts, parks, landscape, trails and associated uses.

A formal application has been submitted to Jefferson County for the development proposal described above. The applicant is required to provide this notification as a part of the processing requirements for this application.

Documents for this case can be accessed through the Planning & Zoning Website.

http://jeffco.us/planning-and-zoning/active-cases/

through the QR code on this card, or by contacting the case manager.

Holly Powers

Jefferson County Planning and Zoning

Administrative Assistant

100 Jefferson County Parkway, Suite 3550

Golden, CO 80419

303-271-8748

hpowers@jeffco.us | planning.jeffco.us

-

-

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Nathan Seymour

From: CHRISTIE MANN <clmann777@msn.com>
Sent: Tuesday, February 15, 2022 10:43 PM
To: Nathan Seymour
Subject: --{EXTERNAL}-- Re: Any Update? Ken Caryl Ranch Development - Parcel B & Nov 21 Traffic Study

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Thank you for the response. I have a lot going on this and next week so will try and get with you early March.

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From: Nathan Seymour <nseymour@co.jefferson.co.us>
Sent: Monday, February 14, 2022 12:16:25 PM
To: CHRISTIE MANN <clmann777@msn.com>
Cc: Lindsey Wire <lwire@co.jefferson.co.us>
Subject: RE: Any Update? Ken Caryl Ranch Development - Parcel B & Nov 21 Traffic Study

Hi Christie,

I hope your well and do apologize I haven't gotten back to you sooner. I sent your comments to a few of our Traffic Engineers over in Transportation and Engineering for review. They were able to provide the response as seen below in blue.

Hello,

In regards to the comments on the traffic volume figure, the resident is correct about the lane configurations. We should make sure the applicant updates their figures for all scenarios.
The Ken Caryl & Simms-Chatfield intersection used the correct lane configurations in their Synchro, so they don't need to redo their Synchro, and the LOS/delay/queueing in the report is accurate.
The Synchro for Ken Caryl & Shaffer used the incorrect lane configurations and the applicant should redo those analyses with the correct lanes (this will have a minor effect on the specific delay/queueing values, but I don't think it will change the overall LOS or have any impact on the recommendations).

Regarding the proposal for a dedicated right turn lane into the site's Chatfield access point... The TIS shows a very small number of vehicles making this movement (2 in the AM, 5 in the PM in the 2040 Total Traffic scenario). This is not enough volume to warrant a right turn deceleration lane, nor lead to a scenario where southbound right turning vehicle are excessively queued on Chatfield while waiting for pedestrians to clear the intersection. Since the access is at the top of the hill, even when there are vehicles slowing down to make a right turn, oncoming southbound vehicles have a clear line of sight to observe slowed traffic and react appropriately, as occurs on the County's many other arterial locations where we have intersections without dedicated right turn lanes.

I don't think this is a concern that we should ask the applicant to address. What do you think, Melodie?

I agree with Kelly. The only thing that I would add is that the right turning drivers exiting the development at this access point will be directing most of their attention to the left, since there isn't going to be an acceleration lane and they'll be looking for a gap. I believe there will be enough space to merge into traffic and still yield to pedestrians who've activated the RRFB. In other locations we've used a ped crossing sign with a right arrow to indicate a ped crossing around a corner, but I don't think that's needed here. I would feel more comfortable with that determination if the developer showed the RRFB/crosswalk on their construction plans as existing, and called out the distance from the intersection to the crosswalk. I'd be looking for at least 300'-350' to be able to safely merge in and yield to a pedestrian.

I will pass these comments along to the applicant to incorporate them as needed into the resubmittal. If you have any additional comments or questions please let me know.

Thanks,

Nathan Seymour
Civil Planning Engineer
303.271.8751

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From: CHRISTIE MANN <clmann777@msn.com>
Sent: Thursday, February 3, 2022 8:43 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Any Update? Ken Caryl Ranch Development - Parcel B & Nov 21 Traffic Study

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Hi Nathan,

Hope you are doing well in this winter weather..

It's been a couple of weeks. Have you had time to read through my thoughts and bring them forward to anyone, or incorporate into your plan?

Thank you,
Christie
303-933-7665

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From: CHRISTIE MANN <clmann777@msn.com>

Sent: Wednesday, January 12, 2022 5:09:05 PM

To: nseymour@jeffco.us <nseymour@jeffco.us>; hgutherl@jeffco.us <hgutherl@jeffco.us>

Subject: Ken Caryl Ranch Development - Parcel B & Nov 21 Traffic Study

Nathan (and Heather):

We spoke Thursday 1/6/22 regarding Ken Caryl Ranch Parcel B. Thank you for returning my call.

@Heather: I am also adding Heather since the Ken Caryl website has her name listed as a contact for Traffic related concerns.

As we discussed, my reason for contacting you is the dangerous entrance/road into Ken Caryl Ranch development Parcel B that is purposed to be added as a Right turn off of Chatfield Ave, just South of Ken Caryl Ave. I believe the terminology is this will be a Right turn in and Right turn out from/to Chatfield Ave.

I have lived in the Ken Caryl Ranch neighborhood for over 20 years and have placed many phone calls over the years on traffic related issues in the area. When you live in a neighborhood, you care about the safety of friends and family who will be using the roads, intersections and pathways. Many people will not take the time to reach out, but I do, and a handful of items have been addressed that I believe have made a difference, while others have not been properly addressed, so accidents continue to happen or high risk remains present, for example. I began reaching out on this issue in August 2021, but only now reached the correct person (Nathan. Or maybe it should be Heather??)

I saw on a recent developer diagram (shown below) that the access road off Chatfield Ave into the East side of Parcel B would be directly across from Park Range Road - which puts the road near the peak of the hill of Chatfield Ave (a short hill that begins at the intersection of Ken Caryl and Chatfield).

Putting an entrance at this point of the hill WILL create additional hazards - both at the entrance itself as well as put vehicles and pedestrians in harms way both at the Entrance to Parcel B and at the Cross Walk just a few car lengths away.

When there is a hill, as you know, it is common that cars will accelerate to some degree to make it up the hill (not to mention, if the South bound vehicle crossed the Ken Caryl Ave intersection on a Green light, the vehicle would already be traveling with some momentum). You also likely know on a snowy day when traveling up a hill, keeping the speed of a vehicle is also a way to keep from getting stuck in a snowy or icy situation, thus avoiding collision or traffic issues for yourself and those traveling behind.

At the Entrance itself, another concern would be pedestrians could be walking north or south along the West side of Chatfield Ave (High School students will walk to/from school while others may walk to/from the stores for shopping/dining/employment), blocking the car from quickly removing itself from Chatfield Ave out of the way of traffic. If the turning vehicle should have to temporarily wait for a pedestrian - traffic behind the vehicle will need to stop or change lanes. For example, if a line of cars had been at a the south bound Traffic Signal on a Red light, now that line of cars all proceed up the Chatfield Ave hill at the same time with the lead car turning into Parcel B - you may have a line of cars now that cannot successfully clear the intersection, or a line of cars that were not expecting to be stopped so quickly causing rear end collisions. The line of cars extending into the Intersection may be rare (but could happen once Chatfield Senior High School students return to more normal lunch patterns and head to Chick-fil-a for lunch all at once..), but the point being there will be reasons a quick Right turn into Parcel B will not be available, which will create hazards for other vehicles traveling south on Chatfield Ave.

In addition, just a few car lengths after the top of the hill is reached sits a very dangerous cross walk that was created near 5 years ago (shown in the below diagram with the CIRCLE which "connects" the walking/bike path between the 2 neighborhoods. (prior to the cross walk, it was cross at your own risk - which in my opinion was a safer option especially when crossing the south bound traffic). The Flashing light option was added several months after the cross walk was made official, and in my opinion the light makes it even more dangerous. To my knowledge there have not been any Pedestrian deaths or severe injuries but there have been car accidents as a result of this unexpected place to have a cross walk (at the top of a hill - and with a slight curve to it). I believe it's only a matter of time before someone is seriously injured due to the placement of that cross walk....

... and now you add cars leaving a neighborhood putting themselves within feet of the dangerous cross walk AND cars coming up the hill behind the vehicle that just made the right turn onto Chatfield from Parcel B will now quickly move to the left lane to avoid tailgating the car from Parcel B, putting the passing vehicle right

upon the dangerous cross walk. I assure you this already happens when someone is using caution ascending the hill, but now more vehicles will create this pattern of passing on the left to avoid cars as they enter Chatfield right before that cross walk. (this is in spite of the solid white "no passing" zone the planners implemented to make the cross walk safer)

PROPOSAL: If there are no other options for creating a second access point for Parcel B (if it is even a requirement at all to have 2), then I would say the ONLY safe option would be to carve out space in the plans to incorporate a RIGHT TURN ONLY LANE from Ken Caryl Ave at Chatfield Ave all the way to the purposed East Entrance to Parcel B. That way the existing 2 lanes of Chatfield Ave remain as they are now.

I do not think the Right Turn Out of Parcel B warrants it's own lane (nor is there probably room), however, I do feel it is dangerous for these cars to be entering Chatfield Ave at this point in the road as mentioned above since it puts the vehicle so close to the dangerous cross walk.

ALSO, as discussed, I am attaching a page from the Nov 2, 2021 traffic study to point out inconsistencies in the diagrams. (There may be these same issues on other pages, but I just happened to print this one.) I noted 2 issues at the Ken Caryl/Chatfield intersection, and I am also pretty sure a Left arrow is missing at the Ken Caryl/Shaffer Pkwy intersection, so included that as well.

I would appreciate finding out if my feedback for the Chatfield entrance into Ken-Caryl Ranch Parcel B is being considered and if changes will be implemented (if they are not already part of the plan). I'd be happy to meet onsite with someone during a school day during lunchtime or when school lets out as that may be when more of these situations would be present.

Thank you - Christie Mann
Ken Caryl Resident - 24 years
303-933-7665, then press 1

W. CHATFIELD AVENUE
W. KEN CARYL AVENUE

Nathan Seymour

From: Nathan Seymour
Sent: Monday, December 26, 2022 6:06 PM
To: Mike & WendiVanWoerkom
Cc: Michael Vanwoerkom; Karen Burke
Subject: Comments on Case No. 21-136270PF - Ken Caryl Ranch North Plains Filing 2
Attachments: Applicant Resp Memo addressing Citizen Com.pdf

Hi Wendi,

I was just going over the case file and realized I may never had responded to the email below. I'm very sorry.

Attached on pages 2 and 3 of the attached is the applicants response to your questions and concerns. Did the applicant ever reach out to discuss the removal and revegetation of the existing trail area? I'm happy to arrange a meeting if there are any items which you don't feel have been resolved or need further discussion.

Best,

Nathan Seymour
Civil Planning Engineer
o 303.271.8751 | **www.jeffco.us**

JEFFERSON COUNTY COLORADO

We encourage scheduling an appointment to see staff during our office hours Monday - Thursday. Please schedule appointments and submit applications online. Go to planning.jeffco.us for more information.

From: Mike & WendiVanWoerkom <mikewendivw@gmail.com>
Sent: Monday, January 3, 2022 11:03 AM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>; Karen Burke <kburke@mccommercialrealestate.com>
Subject: --{EXTERNAL}-- Re: Comments on Case No. 21-136270PF

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Thank you!

Sent from my iPhone

> On Jan 3, 2022, at 10:23 AM, Nathan Seymour <nseymour@co.jefferson.co.us> wrote:
>
> Wendi,
>
> Thank you for your comments. Once I've had a chance to review and obtain additional information I'll provide a response to your questions/concerns.

Best,
Nathan Seymour
Civil Planning Engineer
303.271.8751

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From: Wendi VanWoerkom <mikewendivw@gmail.com>
Sent: Thursday, December 30, 2021 3:05 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Cc: Michael Vanwoerkom <mvanwoerkom@exoterracorp.com>; Karen Burke <kburke@mccommercialrealestate.com>
Subject: --{EXTERNAL}-- Comments on Case No. 21-136270PF

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Nathan –
We received a postcard notice about the development adjacent to our property. The development (Ken Caryl Ranch North Plains Filing 2) is located directly east of our property at 7610 – 7640 S Alkire Place.

I have attached some redlines on the construction plan sheets I found online. I have marked some concerns about the possible disturbance to our landscape retaining walls. We purchased our property recently and have found that the quality of the construction of multiple features are not what they should be, and this includes my suspicion of the block landscape walls that retain the hillside that this new develop will be constructed on. The proposed plans for this development show multiple feet of earthwork removal, notes indicating 5' additional depth of the clayey soil reworked for utilities, and also the excavation work to build the houses foundations. I am very concerned that all this large equipment will vibrate our walls and jeopardize their structural integrity, if not make them fall over. What can be done to assure that the walls are not disturbed OR that the developer's contractor will repair any damage done to them?

Also, the existing trail located at the top of this wall will be relocated. The access from the back of the Safeway parking lot is presently on our property. I would like that portion of the trail also removed and then revegetated. We need to make it clear that access at the corner of our property is no longer an access point. I would love to work with the county or developer to allow access to our property to complete is bit of work. How can we make this work official and documented correctly?

Lastly, I have a concern about the water service pressure. The pressure at our buildings is very low (~40 psi). With the addition of 200+ homes the pressure may drop to nothing and none of the plumbing fixtures will work for anyone. Can you show me how this will be mitigated? We all need more pressure if that is possible!

Please contact me directly by calling me (cell phone listed below) or email back.
Thanks you for your review and sharing of the information of this development.

Wendi VanWoerkom
Manager/President
Koranda Properties, LLC
mikewendivw@gmail.com
720-980-5060

Nathan Seymour

From: Nathan Seymour
Sent: Monday, January 3, 2022 11:49 AM
To: Judi Zitnak
Subject: Case #21-136270 PF and 21-137134ASR
Attachments: 3. Preliminary Supplemental Plan 2021-11-01.pdf; 20001_KCR Filing 2_Alternative Standards Letter.pdf

Hello Ms. Zitnak,

Thank you for reaching out. The proposed plan for the vacant land at Ken Caryl/Simms is for the development of 201 single family attached homes (townhomes). I am the case manager for Jefferson County and will be processing the case. This case is being processed under case 21-136270PF. There is a Alternative Standard Request being processed as a sub-case, which is case 21-137134ASR. I've attached a basic site plan for reference along with a copy of the applicants request for the Alternative Standard.

As far as proposed development northwest of Mountain Gate, the formal case has not been submitted or processed yet but I do believe apartments are proposed in the approximately 8 acre parcel adjacent to S. Alkire and W. Indore Place.

If you have any additional questions or comments please direct them to me.

Best,

Nathan Seymour
Civil Planning Engineer
303.271.8751

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From: Judi Zitnak <jazitnak@yahoo.com>
Sent: Wednesday, December 29, 2021 3:03 PM
To: Nathan Seymour <nseymour@co.jefferson.co.us>
Subject: --{EXTERNAL}-- Case #21-136270 PF and 21-137134ASR

CAUTION: This email originated from outside Jefferson County Government. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Nathan:

I have noticed recently signs posted on what I thought was an old landfill space located at the southwest corner of Ken Caryl/Simms Street. It listed you as the contact for further information. Can you provide the information as to what is going to be built there as residents in the area spoke of homes going to be built behind the fire department located next to Mountain Gate Condos. I am assuming this is now another development plus the one they spoke of? If they are to be 201 single family homes that doesn't seem possible for that area.

Thank you for providing any clarity to this matter. I had originally purchased here due to the uncongested area of traffic etc and convenience of ability to walk to things. I do love Littleton!

Wishing you a Happy New Year as well.

Sincerely,

Judi Zitnak

NADG KEN-CARYL RANCH LP

Ken Caryl Ranch North Plains Filing 2
Post referral Redmarked Print No. 1

<u>Applicant Response to Citizen Comments</u>
February 22, 2021

The following is Applicant's response to citizen comments provided as part of Jefferson County's Post Referral Redmarked Print No. 1. Each citizen response is identified by person with questions noted following with response in bold italics.

Mark Carr, December 22, 2021

- I'm assuming that achieving the planned 201 residential lots is dependent on the request to reduce intersection and driveway spacing. Is that correct?
  Response: Our planners and engineers have worked diligently to prepare a creative land plan that meets Jefferson County LDR requirements. Often in such land plans and in development alternative development standards are proposed, necessary and desirable. This has little to do with project density, noting in particular that the current plan is for 199 units on land zoned for 270 units.
- Will the reduced intersection and driveway spacing still allow for larger trucks such as semi-trailer moving vans to move in and out of the area?
  Response: Public and private streets within the community are designed with turn radii, site distance triangles, street width and other metrics to meet both Jefferson County and West Metro Fire standards, including access by such vehicles as fire engines and moving vans.
- West Metro has agreed to accept the development for fire protection. Have they signed off that their fire apparatus will have the necessary access to all the units with the reduced spacing?
  Response: West Metro Fire has reviewed current plat documents and will be in the loop as to any changes going forward.
- Have maximum residence heights been covered yet? Or too early in the process?
  The maximum height allowed pre the Ken-Caryl Ranch North "Plains" Official Development Plan is 30 feet, a condition that is being met in site plan and building documents.

Mary Duffens, December 30, 2021

- The purpose states: Preliminary and Final Plat to subdivide the applicable parcel of land into 201 single family attached lots, roadways, greenbelts, parks, landscape, trails and associated uses. Are you able to tell me if these will be townhomes or apartments and/or a mixture of both?
  Response: All units are townhomes and are planned as a mixture of three housing types: (1) a "300 Series" two-story product, in 4 to 6-unit buildings, with unit sizes ranging from 1,100 to 1,600 square feet; (2) a "500 Series" one and two-story product, 4 to 6-unit buildings, with unit sizes ranging from 1,300 to 1,800 square feet; and (3) a "Front Load" two-story product, 3 to 4-unit buildings, with unit sizes ranging from 1,800 to 2,100 square feet. There are a variety of crawl space, full basement, and walk-out configurations.

Carl Eversman, January 14, 2022

- What school will this new apartment complex be assigned to?
  Response: This is a townhome community and not an apartment complex. Jefferson County Schools, by memorandum dated December 22, 2021, has advised that the anticipated school assignments for students generated from this development are:
  Shaffer Elementary School (PK-5) – *7961 S Sangre de Cristo Rd, Littleton, CO 80127*
  Falcon Bluffs Middle School (6-8) *– 8449 S Garrison St, Littleton, CO 80128*
  Chatfield High School (9-12) – *7227 S Simms St, Littleton, CO 80127*

Christie Mann, January 14, 2022

- Christie is concerned about the proposed right-in right-out turn movement from the east side of Filing 2 onto West Chatfield Avenue. She observes that there are potential automobile and pedestrian safety issues that arise from (1) Chatfield Avenue sloping upward to the south from Ken-Caryl Avenue up a hill, (2) further south a pedestrian crosswalk that connects residential neighborhoods on both sides of the street, (3) two southbound lanes on Chatfield without a decel lane going into the proposed development. Her reason for contacting Jefferson County is "the dangerous entrance/road into Ken Caryl Ranch development Parcel B that is purposed to be added as a Right turn off of Chatfield Ave, just South of Ken Caryl Ave." Her PROPOSAL: "If there are no other options for creating a second access point for Parcel B (if it is even a requirement to have 2), then I would say the ONLY safe option would be to carve out space in the plans to incorporate a RIGHT TURN ONLY LANE from Ken Caryl Ave at Chatfield Ave all the way to the proposed East Entrance to Parcel B. That way the existing 2 lanes of Chatfield Ave remain as they are now."
  Response: Applicant is working with its traffic engineer and Jefferson County to address issues raised with the goal to address traffic flow, pedestrian circulation and safety concerns in compliance with Jefferson County regulations and requirements.

Wendi VanWoerkom, Koranda Properties, LLC, December 30, 2021

- Wendi represents the owner of property located at the southwest boundary of Filing 2, the address of such property being 7610-7640 S Alkire Place. There are retaining walls that exist along the easterly side of her property, along which a pedestrian/bike path extends from above down to the existing Safeway Center rear driveway. She is concerned that Filing 2 grading work may cause disturbance to and/or damage to the existing walls. "What can be done to assure that the walls are not disturbed OR that the developer's contractor will repair any damage done to them?
  Response: The project engineering drawings make note of the current existing walls to be identified as an item of concern on construction documents which will guide contractor contracts and work. The contractor will be responsible for any damage to existing walls. Our project geotechnical engineer has reviewed the wall as well. Here is their statement "We went over the proposed and existing grades and proposed development in the southwest corner of the site in the vicinity of the existing retaining walls on the property to the west of this site. Based on the provided information we understand that grading operations will lower existing grades approximately 1 to 4 feet reducing the soil surcharge on the existing walls. It is also assumed that light construction equipment will operate approximately 14 to 20 feet behind the walls. Based on our understanding and our review of the existing conditions and proposed construction, we do not anticipate any

noticeable impact to the existing walls. However, the existing walls shall be monitored during construction operations for any movement or distress."

- "Also, the existing trail located at the top of this wall will be relocated. The access from the back of the Safeway parking lot is presently on our property. I would like that portion of the trail also removed and then revegetated. We need to make it clear that access at the corner of our property is no longer an access point. I would love to work with the county or developer to allow access to our property to complete is bit of work. How can we make this work official and documented correctly?"
  Response: The Applicant is willing to meet with this property owner to address an equitable solution for removal and revegetation of the area where the currently existing trail encumbers her property.
- Lastly, I have a concern about the water service pressure. The pressure at our buildings is very low (~40 psi). With the addition of 200+ homes the pressure may drop to nothing and none of the plumbing fixtures will work for anyone. Can you show me how this will be mitigated? We all need more pressure if that is possible!
  Response: The water system servicing Filing 2 is independent from the water system serving this owner's property, so there will be no impact from development of Filing 2 on her property. Ken-Caryl Ranch Water and Sanitation District ("KCRWSD") is the supplier of water for all of Ken-Caryl Ranch and is responsible for ownership and maintenance of all subdivision mains. All water plans for Filing 2 will be subject to review and approval of both KCRWSD and Denver Water. It is suggested that this property owner contact KCRWSD for assistance in identifying and correcting any existing water pressure issue. A hydraulic study has been conducted to show the impacts of our development on the existing system. No negative impacts to the existing system are anticipated based upon this analysis.

Judi Zitnak, December 29, 2021

- I have noticed recently signs posted on what I thought was an old landfill space located at the southwest corner of Ken Caryl/Simms Street. It listed you as the contact for further information. Can you provide the information as to what is going to be built there as residents in the area spoke of homes going to be built behind the fire department located next to Mountain Gate Condos? I am assuming this is now another development plus the one they spoke of? If they are to be 201 single family homes that doesn't' seem possible for that area. Thank you for providing any clarity to this matter. I had originally purchased here due to the uncongested area of traffic etc and convenience of ability to walk to things. I do love Littleton.
  Response: This Ken Caryl Ranch North Plains Filing 2 development is proposed for 199 townhomes in three different product types. Buildings are of 3, 4, 5 and 6-unit building configurations. The existing zoning for the property is R-3 K/C Condominium Residential which allows attached single family homes in building sizes of at least 3 units per building. The other area which Judi Zitnak references is the Ken Caryl Ranch North Plains Filing 1 development proposed for 249 single family detached homes on approximately 58 acres located northerly of the fire station and extending to a boundary with Meadows Golf Course. A third development is planned just east of the fire station adjacent to and north of Mountain Gate; this project will be submitted soon to Jefferson County as a Site Development Plan application for 297 apartment units in seven three to four-story buildings.

DTO: Lindsey Wire, Jeffco Case Manager 12-12100PF
Nathan Seymour, Jeffco Case Manager 21-136270PF

cc: Chris O'Keefe Mike Schuster Pat O'Connell Ross Klopf Felicity Selvoski Jefferson County Commissioners c/o Deborah Churchill

DATE: May 11, 2022
DATE: ~~March 30, 2022~~
DATE: ~~March 28, 2022~~
DATE: ~~March 15, 2022~~

RE: Ken Caryl Taxpayer Questions and Concerns Re: NADG Development Proposals
Original document sent via email on 3/15/22. This document is updated as of 3/28/22, and finalized as of March 30, 2022. Citizen responses (in Green) to County and Developer added 5/11/22.

Note: the original letter is below. Please see Citizen Responses to County and Developer comments in Green.

We write to raise concerns about the NADG development proposals.

Specifically, we write to ask questions and articulate concerns, all of which we expect will be answered fully and provided in writing at a reasonable, mutually agreed upon date, no later than April 11, 2022. Because of the potential negative and adverse impacts of the NADG proposed development on public safety both short- and long-term, along with NADG's many requests for variances, we urge due diligence and accountability in our petition to the boards, entities, and officials who represent us: the Ken-Caryl Ranch Master Association (KCRMA), the Ken-Caryl Ranch Metropolitan District (KCRMD), and Jefferson County. Moreover, we raise these questions and comments as primary stakeholders and taxpayers, who will be directly affected by the huge adverse financial and safety impacts of the proposed NADG development. Please note the attached document "KCR Coalition responses to applicant response to citizen comments" which contains "official" answers in red to the questions posed previously by other concerned residents; our responses to these official answers given by Jefferson County and/or NADG reflect unanimous concern over the pat narrative and superficiality of the answers provided—as though legitimate and serious questions of taxpayer stakeholders are being dismissed.

Our questions and concerns regarding this potential impact fall within numerous categories—ranging from assumptions about what founding documents specify, studies and plans relating to traffic, public safety, fire-safety logistics, geology, water, to wildlife habitat. All questions directly relate to NADG proposals that have been submitted for review, often with requests for variances to be granted.

First and foremost, we assert that no variances should be granted that conflict with or violate existing regulations, including the Official Development Plan of Ken Caryl Ranch, or that are not cohesive with the existing surrounding communities. The NADG plan involves an infill development surrounded by Chatfield Senior High School, businesses including retail,

manufacturing, and offices, along with existing homes. The potential impacts reach far beyond the boundaries of the proposed NADG development.

Please note that we raise all questions and comments in good faith, as concerned citizens with rights that are as legitimate as a private developer's rights, and with an assumption that our questions will be regarded as fair and legitimate concerns of primary stakeholders and taxpayers. Thank you for your review, consideration, and written answers.

Sincerely,

Ken Caryl Ranch Coalition.

HIGHWAY AND TRANSPORTATION: Road Design, Traffic, and Safety (see attachments)

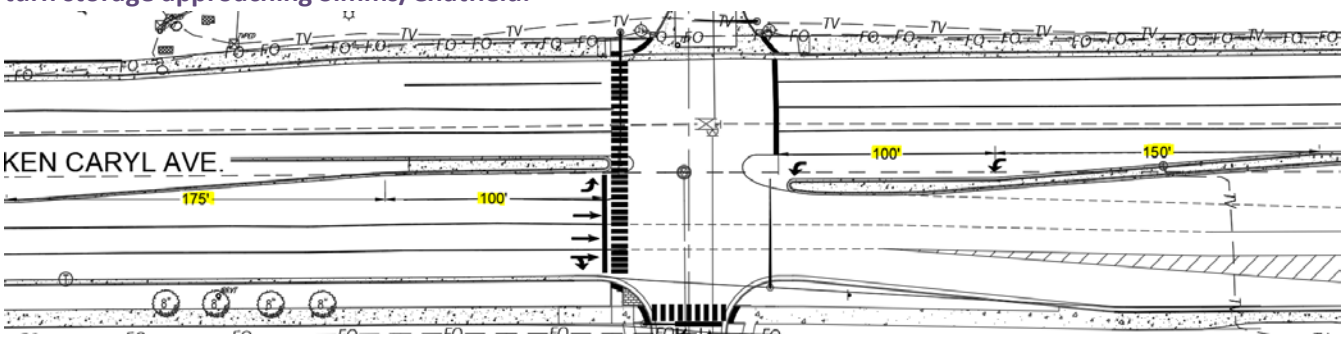
1. Design Variance. On page 5 of the attached pdf from the Fox Tuttle traffic report, there is a variance request stating that the deceleration length does not meet the 230ft per Section 3.7.4 of the County Transportation Design and Construction Manual: can you comment and clarify?

   County Response: The developer has requested relief of this requirement through an Alternative Standard Request. This request is currently under review by the County.

   Developer Response: This is due to the back-to-back configuration of the turn lanes. Note that the recommended 100' storage + 175' taper will operate with the same storage/taper as the opposing/existing EB left-turn lane, which services 105 vph (vs.11 vph projected for the site access, WB left-turn lane).

   Citizen Response: Agreed that the taper rate is the same in each direction. However, in the WB direction, there is only 93' storage and a 150' taper which doesn't meet the recommended storage and taper length. In the EB direction there is 209' of storage and a 190' taper which does meet the recommended storage and taper length. The storage and taper length is not comparable as was suggested by the developer. Please keep us updated with the progress of the county's review and specifically the safety of the through WB traffic flow and deceleration/storage of the proposed left turn pocket.

   Developer Response: The eastbound direction is as previously stated (see below). The westbound taper has been shortened from 175' to 150' to accommodate additional EB left-turn storage approaching Simms/Chatfield.



   County Response: Staff Supports this request as it is supported by traffic study based on the queuing. A decision on this request has not yet been made.

2. It appears that only 6 AASHTO passenger cars can fit without blocking traffic in the WB left-turn bay, however the traffic volume report from Fox Tuttle states that 11 vehicles will make this WB left turn in the PM peak hour: can you comment and clarify?

   Developer Response: Per the TIS, 11 vehicles per hour produces an average queue of 5' and 95th-percentile queue of 12' (roughly 1/2 vehicle). This is contained in the 100' of storage proposed for all scenarios.

   Citizen Response: Please explain a queue length of 5' and 12' as this is shorter than a car length.

   Developer Response: The 5' and 12' lengths are shorter than one car length, correct. The

projected westbound left-turn peak hour volume is 11 vehicles per hour, which corresponds to an average of a car roughly every 5 minutes. That means during most signal cycles there are zero cars making this movement, and thus the average queue during the peak hour is less than one vehicle, as modeled.

3. Does the traffic study support eliminating the right-only acceleration lane? Has there been a noise study on how moving traffic through the lane south, closer to the neighborhood, will impact current residents?

   Developer Response: CDOT provides criteria for provision of a right-turn acceleration lane based on volume and speed. For a Principal Highway roadway, a right turn acceleration lane and taper is required for any access with a projected peak hour right-turning volume greater than 50 vph when the posted speed on the highway is greater than 40 mph. Per the TIS, the NB right-turn volume is 45 vph in the highest peak hour and the posted speed is not greater than 40 mph, and thus is not warranted based on these criteria. For "non-rural arterials", which would be most similar to Ken Caryl Ave, acceleration lanes are "generally not required". Per these criteria, the existing right-turn acceleration is not warranted in any scenario analyzed in the study.

   County Response: No noise study has been performed and Staff does not believe the eliminating the acceleration lane will significantly impact noise. Additionally, the County is no longer constructing or preserving acceleration lanes and it is planned that we would remove this consideration in our next updates of the Transportation Design and Construction Manual. Acceleration lanes are no longer recommended for this context.

4. Is it possible to change this to be a physical median with curb and gutter to help slow traffic since a narrower opening would increase drivers' attention, thus increasing intersection/pedestrian safety?

   County Response: Yes, Staff agrees that the hatched area east of Ken Caryl/Simms should be a physical median. Due to limited space, Staff is requesting a pedestrian refuge "porkchop" on the SW corner of Ken Caryl Ave/Simms/Chatfield.

5. Can mill and overlay for new pavement be provided, since this project is re-striping and re-configuring the intersection? This would help with potential wheel path issues on pavement joints.

   Developer Response: These are County owned/maintained roads. The re-striping would be to delineate out the new lanes and improvements that are being made.

   County Response: Mill and Overlay is not required by the County with this development.

6. Design Variance. Per the attached Minor Variation Request (Redland 9/23/21), it appears that the 6% grade produces a conflict by not achieving enough cover so the NADG developer wants to avoid this additional cost of having to relocate the force main by utilizing an 8% grade. Can a profile be provided, and the sanitary sewer be shown as well?

   Developer Response: The profile is part of the submitted documents. There are multiple reasons the design team chose 8%, however the primary one is to maintain the existing cover over the force main and not add additional fill.

County Response: Staff supports this request given that it allows for adequate cover for the existing sanitary sewer line.

Citizen Response: Did Jeffco staff fully consider the 6 percent maximum slope standard and the impact the north-facing, icy conditions will have with an 8% grade variance? The developer's answer references "multiple reasons" its design staff chose the 8% grade variance. Please provide those reasons. The developer says of the profile showing the sanitary sewer be provided, "The profile is part of the submitted documents." Citizens have not been able to locate the profile it has not been provided as requested. Please provide.

Developer Response: The primary reasons for the variance are to maintain cover over the force main and to avoid introducing additional fill material into the site. The project all ready results in a significant import and raising this road would also add additional fill to the project. The profile is part of the Filing 1 Construction drawings for Alkire Street. The force main was potholed in select locations with the proposed road. Section 3.6 of the County Transportation Design Manual Vertical Alignment states *The maximum grade for all public streets is 6.0% and for public roads is 8.0%.* Typically, streets are used in the Plains and roads used in the Mountains. Thus, the variance request. However, the request is not out of the ordinary and 8% streets are utilized where topography dictates such as this site.

County Response: Staff supports the request to allow an 8% grade on South Alkire Street since the grade will be exceeded for a short distance (from station 47+27.44 to 55+80). The 8% grade in this location needed to provide adequate cover for an existing sanitary sewer line. In addition, the applicant has shown that site distance requirements are met and that excessive shading will not exist along this stretch of road since there are no proposed buildings immediately adjoining the street and the landscape plans do not include excessive use of evergreen trees.

i. Alkire is located towards the north with the steep proposed slope going down. This creates a potential unsafe and icy situation that may not go away quickly.

   Developer Response: The ROW for Alkire in this orientation is existing and was platted with a previous development. The project team is maintaining the existing alignment and continuing it into Filing 1. The road will be County owned and maintained including plowing.

   County Response: To avoid a potential unsafe and icy situation, Staff's review of the landscape plans for this development will verify that there is not an excessive use of evergreen trees adjacent to Alkire.

ii. At the base of the hill and at the true entrance to Parcel A, A steeper slope and change in direction limits sight distance and is a safety issue since drivers cannot see far enough to react and stop in time.

   Developer Response: All line of sight has been evaluated and is reflected in the submittals.

County Response: The applicant has shown that site distance requirements are met for this development.

7. The sidewalk along the south side of Alkire allows pedestrians to cross at a safe location and that is also a direct path to the park. Pedestrians at Parcel C will not want to walk up to Vail Pass/Indore Place to cross and then walk on the north sidewalk. It would appear that pedestrians would cross Alkire Street for the shortest route creating a safety issue considering the steep slope. Can you clarify and make appropriate adjustments to enhance safety?

   County Response: The applicant has withdrawn this request to eliminate this portion of sidewalk.

8. With reduced sight distance and higher traffic volumes, this will increase the number of potential accidents. Can you comment?

   Developer Response: The team has had preliminary discussion with the County on striping and other improvements to the existing Alkire section. At this time the County has not requested any changes to the existing roadway.

   County Response: Sight distances are shown to meet county standards. Increased traffic does not inherently increase the crash rate for a segment. Staff will continue to review submittals and comment on anything that does not meet County standards or poses a significantly increased safety risk.

9. Stopping Sight Distance limits Existing Alkire to have a 25mph design speed which seems too slow for a collector road and most drivers will likely drive this road faster. Can you comment?

   Per Section 3.3.5 for Jefferson County Transportation Design and Construction Manual the Design Speed for a Collector is 25-30 mph.

   Citizen Response: The design speed due to limited sight distance is 25 mph. Since posted speeds are typically 5 mph below the design speed, will Alkire be posted at 20 mph?

   County Response: The County generally posts speeds at or below the design speed. It is not atypical for the design and posted speed limits to match. Alkire will remain posted at 25 mph.

10. To increase this design speed, on-street parking would need to be removed, however there is limited parking within Mountain Gate where this doesn't seem feasible. Can you review and comment on parking issues and amount of parking spaces in the area?

    County Response: On-street parking provides some traffic calming effect keeping speeds on the collector to 25-30 mph. There are no plans to prohibit parking on this segment. Proposed roadways are of a template that accommodates on-street parking.

11. Acceleration and deceleration lanes exist, and were required, for all relatively new (the last 30-40 years) housing developments immediately north of Ken Caryl Avenue on Simms, and those existing development are comparable to or smaller in unit numbers in comparison to NADG's proposed 201-unit townhome development in Parcel B. Please state and explain why acceleration and deceleration lanes will or will not be required for the new road cut on the east side of the parcel abutting Chatfield Avenue directly across from Park Range Road. If the answer is in the negative, please explain why traffic safety is not prioritized similarly for NADG's development. Please also explain the impact of the decision on the safety of numerous cyclists and pedestrians of all ages who utilize the flashing beacon crosswalk immediately south of the proposed new road cut and if Jeffco might require a tunnel or bridge to prioritize the safety of human beings.

Developer Response: Jefferson County's criteria specifies that the need for right-turn deceleration lanes on arterial roadways should be based on transportation study/analysis and may be required as necessary for public safety and traffic operations based on site specific conditions, as determined by Planning and Zoning. For the provision of right-turn deceleration lanes, the traffic impact study applied the Colorado Department of Transportation (CDOT) Access Code which provides standards based upon "criteria and specifications necessary to ensure public health, welfare and safety". The criteria for right-turn deceleration lanes in the Access Code is based on the roadway speed, roadway classification and volume of right-turning traffic. Per the Access Code, for a 40-mph posted speed on a non-rural arterial roadway (southbound W. Chatfield Avenue), a right-turn deceleration lane is required for a peak right-turn ingress volume of greater than 25 vehicles per hour (vph). Per the Traffic Impact Study, the peak ingress volume is 5 vph. Thus, it was determined that that a right-turn deceleration lane is not warranted at this access.

The provision of a right-turn lane would add 12' to the roadway width. Studies equate wider roadways with higher travel speeds, which may be less safe for pedestrians and cyclists downstream. Improvements at the existing at-grade, enhanced crossing south of the project area would need to be coordinated with County staff, to ensure that any potential modifications are consistent with Jefferson County uncontrolled crossing practices as well as the Manual on Uniform Traffic Control Devices (MUTCD) so that treatments are consistently applied across the many uncontrolled crossing locations that they maintain.

County Response: Deceleration right turn lanes are only required if needed based on an approved traffic study. This would be based on speeds and volume of right turning vehicles. The applicant's study has used criteria from the Colorado Department of Transportation for right turning volumes. This is acceptable for this case.

Because there will be no acceleration lane to increase crossing distance for pedestrians/ cyclists, the enhanced crosswalk south of Parcel B will not be directly impacted by this development.

The County will ask the developer to show if turning vehicles are able to see the "Crosswalk Ahead" signage. If right turning vehicles can see the signs after making the turn (at least 50'-100' from the turn), there would be negligible increased risk with adding the access. If they cannot, Staff will ask the developer to add a "Crosswalk after turn" sign (W11-15 + W6-6PL).

Citizen response: The developer's response says "Jeffco's criteria specifies … deceleration lanes … may be required … based on site specific conditions as determined by Jeffco Planning

and Zoning." Please elaborate on how Jeffco has considered the: a. Slope of the hill and b. Line of sight regarding cars slowing or stopping on the hill due to right turning vehicles when considering the request for a right turn lane.

Regarding the crosswalk, please let us know how the developer responds to the County's request regarding if turning vehicles are able to see the signage. What is the distance from the proposed intersection to the crosswalk? Also, the drivers attention be directed to the north to look for a 'gap' to merge. Without an acceleration lane, how will cars safely merge in and yield to a pedestrian? The cars turning right out of the development onto southbound Simms will also need to maneuver around the proposed on street parking spots for the park & pickleball, creating even further distractions for the drivers. Is the county considering all of these site specific issues with regards to the request for right in/right out turn lanes to ensure safety of drivers and pedestrians? Based on the developer's drawing It appears there is ample space to provide these lanes.

Developer Response: The crosswalk is 300' south of the proposed access. As designed, a driver would stop at the stop sign to exit the site, find a gap in southbound traffic, turn right from a stop, and be able to focus on the crosswalk at a distance of ~250' prior to the crosswalk and prior to the existing crosswalk warning signs (posted at ~230' in advance of the crosswalk). If an acceleration lane is provided, this would move the merge point of a vehicle turning south and much closer to the crosswalk, so that a driver is looking over their shoulder or in the rear-view mirror to merge with traffic just before the crosswalk, and be traveling closer to the 40 mph posted speed as they do so. For this reason, as well as an acceleration lane not being warranted based on volume and speed as previously discussed, an acceleration lane is strongly discouraged at this location.

County Response: The County agrees with the developer response.

12. NADG proposes to change the Simms/Chatfield and Ken Caryl Avenue intersection with the addition of a double left turn lane. Adding this turn lane will make the intersection even more dangerous for pedestrians, cyclists, and motorists. Of the multiple accidents that occur at this intersection, the majority of drivers involved are youthful (high school) drivers. With the added turn lane, drivers in the right side of the turn lane have less than a third mile to navigate from the intersection to the entrance of Chatfield Senior High School on Simms. Why is this intersection being revised? It does not appear that the actual driving situation of multiple youth drivers navigating the intersection has been considered. Please comment.

Developer Response: The final design of intersection improvements at Simms/Chatfield and Ken Caryl Avenue will meet minimum redirect taper distances per CDOT and AASHTO standards.

County Response: This intersection is being revised to include a dual left turn lane for eastbound traffic in order to increase the capacity and improve the operations of the intersection.

In the most recent three years of crash history (2017, 2018, and 2019), there have been a total of 28 crashes at this intersection, which is approximately one crash every 6 weeks. Only 18% (5 out of 28 crashes) of the at-fault drivers were ages 16, 17, or 18.

The intersection already has dual left turn lanes for northbound and southbound movements, and these are highly utilized by the high school age drivers. Approximately3,200

vehicles use these dual left turn lanes daily, or 3.5 million vehicles over 3 years. Only one of the crashes in the three-year data was a sideswipe in a dual left turn lane.

Drivers using the proposed eastbound dual left turn lanes to travel to the high school can choose to utilize the inner left turn lane if they do not feel comfortable merging over when traveling northbound on Simms Street.

In the most recent three years of crash history (2017, 2018, and 2019), there have been no reported pedestrian or bicycle crashes.

Citizen Response: The County response does not appear to be using up-to-date information, is 2019 the most current data available? In 2021 there was a fatality at the intersection. Please revise your response to reflect current data if available.

County Response: The 2019 data was the most up to date at the time of the developer study. No updates are required from the County.

13. NADG traffic study was allowed a 5% volume reduction due to public transit. However, RTD is in disarray with little hope of recovery, causing the elimination of Ken Caryl-area routes such as the #77 bus. It is no longer possible to travel by bus to the light rail station at Santa Fe and Mineral. That 5% reduction should be eliminated. Please comment.

    Developer Response: This study is not only addressing short-term but long-term traffic conditions, in which RTD is anticipated to continue to provide transit services in the Denver area. The 5% reduction, which was only applied to Parcel C multifamily site (not Parcel A or B), equates to six (6) auto trips in the AM peak hour and seven (7) auto trips in the PM peak hour.

    County Response: This reduction was due to a major RTD park 'n' Ride facility within walking distance. The developer should provide an analysis to support their reduction using boardings from RTD.

    Citizen Response: This question has not been answered and falls within the purview of Jeffco. Why is a 5 % reduction of traffic volume being granted based on availability of RTD transportation, when the RTD site referenced is not in use?

    Developer Response: The team has removed this reduction from the traffic study.

14. Pedestrian safety is concern with the proposed developments and increased traffic. The intersections in and around these Parcels are highly used by school aged pedestrians. Solar powered blinking crosswalk signs will aid in pedestrian awareness. We would like to see these signs incorporated into all the intersections that the developer is revising.

    Developer Response: Crosswalk enhancements are based on Jefferson County policies for consistent application of various improvements throughout the County. The developer will engage with County engineering staff to determine how potential crosswalk improvements in the study area fit within their program, with particular focus on the at-grade crossing on Chatfield southerly of the Parcel B access.

    County Response: These are not approved for use at any signalized intersections in the U.S. (per MUTCD). Pedestrians are accommodated with pedestrian push buttons, signal heads, and phases of the signals. Staff will require appropriate signage at all pedestrian crossings that are

not located at signalized intersections.

ROADS AND BRIDGES

1. Regarding Parcels A and B, there is a comment in the Parcel A referrals, from Jeffco Road and Bridge, that the roads in the north of Parcel A and in Parcel B are not big enough for their trucks. This presents concerns of safety: issues relating to road maintenance, plowing, and possibly emergencies if emergency equipment cannot access residences due to roads not cleared of snow or inadequate road size. What is being done to mitigate these concerns?

   Developer Response: All public roads have been designed to meet Jefferson County standards. All road sections used within the developments have been coordinated with Jefferson County and West Metro Fire District. The comment being referred to is a very early comment from the initial planning of the Community. By utilizing the Jefferson County standard sections the roads are sufficiently wide for maintenance and emergency access.

2. Parking to accommodate users of the proposed pickleball courts is grossly inadequate and will force parking on arterial streets and in the neighborhood. This will cause significant safetyand maintenance issues. How do you address these issues?

   Developer Response: Section 14 of the Jefferson County Zoning Code requires 1 parking space per 1,000 sf for Tennis or Swimming pool use. The proposed Pickleball Court is 9,728 sq ft, thus requiring approximately 10 spaces. The Pickleball court is strategically located to encourage pedestrian circulation by linking both east and west neighborhoods. The site plan provides 18 on-street spaces specifically for the park and Pickleball courts. Please see parking exhibit submitted to Jefferson County.

   County Response: Because the proposed pickle ball court is a private amenity, the expectation is that it will be used by members of the community, reducing the demand for parking around this use. The applicant has proposed on-street parking that exceeds the parking standards for this use in the Zoning Resolution.

   Citizen Response: The intent of this response is to clarify the proposed parking on the Parking Exhibit dated 10/28/21.

   1) **Dimensions are not shown on the exhibit, can you confirm the proposed Minor Variation 21- 138542 (produces a narrower garage space) will allow for apron parking that complies with the dwelling parking space requirements? Please clarify, is the MVR requesting a reduction to 300 sf (as shown on the exhibit) or 320 sf?**

   2) **The exhibit states "additional on street parking shall be provided on both sides of the street." The spaces are not currently shown on the Parking Exhibit. Will these spaces be striped to define them and deter unsafe parking? Will these spaces still allow for safe movement of emergency vehicles on the public and private streets? Please show these spaces on the exhibit.**

   3) **The exhibit appears to be incomplete and conflicts with Developer and County response (above). Please confirm 1. The pickleball court (not labeled) is a public, not private, amenity. 2. The site plan is providing 15, not 18, parallel parking spaces. The proposed public park and adjacent trail/green belt (not shown) are Outdoor Use spaces. Will a Special Review be done to determine the parking requirement (in addition to the required spaces for pickleball courts) for these amenities?**

4) **Are the bicycle parking space standards being met?**

Developer Response:

1) **The revised Parking Exhibit clarifies the minor variation requests as it relates to parking and square footage. Please see parking exhibit included with response.**
2) **The Fire Department has approved the street section with on-street parking for emergency accessibility. There is no requirement or precedence to stripe the parking on a local streets, the local street parking is in excess of all required parking.**
3) **1-Pickleball court will be dedicated to the KCR Metro District and will be public. 2- Please see updated Parking Exhibit with parking sizes and number of spaces. The KCR Metro District has reviewed the park plan and associated parking for the park, they believe this park will primarily be accessed by the pedestrian corridor.**
4) **See updated Parking Exhibit for bicycle parking locations, there are 8 bicycle spaces within the neighborhood and 8 bicycle spaces within the park area. This exceeds the Jefferson County requirement of a minimum of 5 bicycle spaces.**

County Response: The County has yet to receive the parking exhibit for Filing 2 for review.

3. Repairs and associated costs to roads damaged by construction traffic must be maintained daily and repaired as needed by the applicant, and not by taxpayers. What is the plan to address these issues?

   Developer Response: Road conditions will be monitored during construction. If damage occurs, repairs will be conducted in a timely fashion.

   Citizen Response: Can you confirm that any damage to the roads will be paid by the developer and not by the taxpayers?

   Developer and County Response: Yes, the Developer will be responsible for any road damage to existing streets.

4. What impact on public safety and noise will extensive and prolonged earth-moving process have on residents, the pedestrian public in general, business operations, students at nearby schools, and normal citizen traffic? We would like to see an assessment and coordinating plan to address these concerns.

   Developer Response: Earth movement will occur during normal work hours as required by

Jefferson County and will utilize existing signalized intersections. The earthwork contractor will coordinate with Jefferson County to prepare and execute upon a traffic control plan. Depending on county requirements, this may include flaggers, traffic signal reconfiguration (i.e. timing of lights), uniform traffic control and electronic message boards to provide general public and work zone safety along with maintaining existing traffic patterns.

5. **Road design must meet or exceed standards necessary for proper maintenance** of curbs, gutters, drains, grading, road plowing, sanding, and general maintenance which will be performed with taxpayer dollars. Can you comment on this?

   Developer Response: Roadways have been designed to meet Jefferson County standards.

   Citizen Response: We ask that Jeffco confirms the developer's response.

   County Response: Any roadway that does not meet County Standards must have an approved Alternative Standard Request.

DEVELOPMENT – PARCEL A:

1. MINOR VARIANCE REQUEST - LOT WIDTH The Ken-Caryl Ranch ODP for the R-2 K/C zone district specifies a minimum lot size of 4,000 square feet and a 50 ft. wide minimum lot width. Subsequent amendment(s) speak to a 100 ft. minimum lot depth. The third subneighborhood, contains 60 lots with a 45 ft. wide lots. The developer is requesting a Minor Variation for the 60 lots at 45 ft x 109 ft within the Parcel A neighborhood within Ken Caryl Ranch. This is not cohesive with the overall 'open' quality of the existing surrounding neighborhoods, and not conforming to the ODP, what is the purpose for requesting the reduced lot size and why should the variance be granted?

   Developer Response: Great residential neighborhoods should include a variety of residents including seniors, families and young professionals. The proposed lot size range with 60 ft, 50 ft and 45 ft wide lots will attract a variety of residents. The 45 ft lot width is important to ensure first time buyers and young professionals have the ability to buy housing within Ken Caryl Ranch. There are only 24% of the 249 total homes are proposed to be 45 ft wide, we strategically determined this percentage and located the 45 ft lots internal to the neighborhood. The 1972 ODP had not envisioned the current demand for small lot based on the increasing material and land pricing.

   County Response: The variance for lot width applies to 33 lots on the property that are 45' wide, which is fewer than the number of lots that exceed the minimum lot width requirement (70 lots at 60' wide). Staff found that allowing a variance for those 33 lots would not affect the intent of the zoning as it would not increase the overall density of the development. In addition, given the larger number of lots exceeding the minimum, the average lot width on this Plat will exceed 50', meeting the intent of the ODP.

NOISE IMPACT:

1. Per Jefferson County "after a preliminary review of the Noise Impact Survey, it is clear that the noise regulations are exceeded" for this development. NADG has indicated that "SPC 30" windows will be installed for 25 of the 249 homes. Please show how "SPC 30" windows on less than 10% of the homes will mitigate the noise issues.

   Developer Response: Per the Noise Survey prepared by WSP dated 2/4/2022: "The entire development does not need these higher rated windows since there is natural noise attenuation

by the hogback between a majority of the development and C-470. Higher noise pollution measurements coming from C-470 to the west and north of the proposed project site were due to the absence of the hogback. STC 30 windows are dual paned glass that are expected to reduce the building's interior noise levels to 40-42 dBA. STC 30 windows was chosen as the sound

mitigation measure to reduce the sound level 5 dBA. HUD standards require an interior noise goal of 45 dBA and an additional 5 decibels of additional sound attenuation.

2. How will outside noise mitigation for homeowners or outdoor enthusiasts be accomplished?

   Developer Response: Please refer to the previous response and the Noise Survey by WSP. Only a small percentage of the lots are impacted by elevated noise due to a gap in the Hogback. Most of these lots back to the golf course. A privacy fence was considered, it only provided 3-5 dBA reduction due to the topography and layout of the site. It was determined residents would prefer the golf course views in lieu of a 3-5 dBA reduction provided by a privacy fence.

3. Pre-COVID traffic has not resumed. How will the developer address the increase of noise levels for future homeowners?

   Developer Response: There is no indication from our Noise Consultants that noise levels will increase in the future.

   County Response: Traffic volumes are at our near to pre-covid levels at this time.

4. "Industry standards suggest that noise mitigation requires building materials—windows, steel structure, insulation—that mitigates decibel levels AND vibrations both inside and outside. This more comprehensive approach, as an industry standard, also involves attention to landscaping. Please discuss the impact of noise—decibels and vibrations—with regard to the expansion of C-470 and the increased density of traffic on residential roads for residents of this development when: 1. Industry standards are not being followed; 2. NADG is requesting variances to allow even higher decibel levels."

   Developer Response: Please refer to the response to question #1 above. Only a small majority of lots are impacted by increased noise due to the gap in the Hogback and mitigation is provided. There is no evidence of vibration impacts to the property from the highway.

   County Overall Noise Impact Response: For developments adjacent to highways it is common for Sensory Impact Studies to show that the decibel levels as shown in Section 26 of the Land Development Regulation are exceeded. Recent developments including the Red Rocks Ranch Subdivision and Three Hills Subdivision, both of which are adjacent to C-470, have provided studies showing that these decibel levels exceed regulatory standards. County Regulations specify decibel levels for the L25 (noise levels experienced 25% of the time), L0 (maximum) and periodic impulsive (short bursts of noise). Staff has found that in practice, it is difficult or impossible for these standards to be met in most scenarios as the L0 and Periodic Impulsive Noise levels that might be experienced often well exceed County regulations and could be the result of a motorcycle passing through a neighborhood or semi applying its brakes. When reviewing Alternative Standards Requests, Staff therefore is looking for the following things:

   a. **Does the development meet HUD Standards for noise? The DNL (also known as LDN) is the Day-Night Noise Level used by HUD to evaluate site suitability. This determines the 24hr running average of Leq levels while adding 10 dBA to the nighttime levels from 10pm to 7am.**

      The Leq metric is the "equivalent noise level", which is the average noise level over a period of time. The Leq values for each one-hour period are used to calculate the DNL.

b. **Has the developer identified mitigation measures that may be used for the development? These measures could include STC Windows, sound walls or well sealed privacy fences. Staff will also look for reasons for why specific mitigation measures will not work for a development**

In addition to the above, the following is also placed on the plat:

The future residents of this subdivision may experience elevated noise levels from C-470. The future homes should be constructed to provide sufficient noise reduction. To meet this criterion windows with an STC rating of 30 must be installed. An instrument notifying all future purchasers or leasees of potential noise impacts is recorded at Reception Number _____.

This instrument is recorded at the same time as the plat. It should be noted that for this case, an Alternative Standard Request has been submit and is under review by Staff.

Citizen Response: Noted that the ASR is under review by the County. Please provide the review when it is available.

County Response: Staff is supportive of the Alternative Standard Request. Staff findings were based upon the following and the request has been approved:

1. **The request was discussed at the Engineering Staff Meeting dated March 30, 2022. Staff supports this request since the applicant has shown that the proposed decibel levels are within the acceptable range for HUD standards. STC 30 windows will be required for homes on Lots 1-17 Block 1, Lots 9- 11 Block 6, Lots 1-3 Block 7, and Lots 1 and 37 Block 8 in the north and western portions of the development. In addition, for the two homes just east of the gap in the hogback (Lots 1 and 37, Block 8), a fence sound barrier will be installed to reduce the elevated noise levels.**
2. **With this development there will be a noise disclosure statement recorded notifying all future lot owners of the noise impacts from nearby Colorado State Highway C-470, Ken-Caryl Avenue and Meadows Golf Course.**
3. **The applicant's engineer has certified that by granting the above alternative standards/requirements the said improvements will be equivalent to that prescribed in the Criteria in terms of quality, effectiveness, durability, and safety.**
4. **Planning Staff, Road and Bridge District 1, Transportation and Engineering, Public Health and Open Space do not object to these requests.**

FIREWISE

1. Given the recent wildfires in Colorado, especially the Marshall Fire that destroyed over 1,000 structures, Firewise guidelines should be strongly adhered to. Do the proposed open space and landscaping plans adhere to these guidelines? Will the planned structures adhere to Firewise Building Design regulations?

   Developer Response: All new projects within Jefferson County are requested to submit a Life Safety Plan. We have meet with the West Metro Fire and Rescue team to review our Life Safety Plan to ensure proper access and fire hydrant locations based on their standards. We have incorporated the Colorado Firewise Plant Material list for common area plantings. The Ken Caryl Ranch Master Association and Metro District should establish fuel management strategies for

existing native plantings. All existing and future residents should create a defensible space on their private property. The builders include Richmond and Meritage and they will always meet the latest fire code requirements.

Citizen Response: Is the "latest fire code" requirement the same as Firewise Building Design? If it is less restrictive, then the Firewise Design should be used.

Developer Response: Building Code and Firewise are separate. Firewise USA® is a national recognition program that provides instructional resources to inform people how to adapt to living with wildfire and encourages neighbors to work together and take action to reduce their wildfire risk. Firewise deals with structural practices and defensible space. It provides guidelines that have been utilized for landscaping and defensible space within the community. Building code is just that code that is enforced by the County. Firewise is a set of guidelines that we have utilized to guide planting and landscape materials within the development. It would be up to the County if they want to incorporate portions of Firewise into their code.

County Response: All residential structures will be required to follow the current building code at the time of submittal.

SCHOOL DEDICATION

1. Will there be any debt financed to acquire the park and recreation facilities from NADG?

   Developer Response: The Park and recreation facilities for which KCRMD will be the owner and responsible for maintenance are being conveyed free of charge and without any debt burden. Hogback Metro District has issued bonds and will pay for the cost of construction of certain public improvements including certain park and recreation facilities.

2. Regarding the School Land Requirements, Jeffco Schools is requesting fees-in-lieu instead of the land in Tract B. Can you provide documentation as to why the schools are rejecting the land?

   Developer Response: It is our understanding that Tract B is not in a suitable location for

development of school facilities and that Jeffco Schools has determined that fees-in-lieu better suit their purposes.

County Response: Documentation from Jeffco Schools requesting Fees-In-Lieu is provided.

Citizen Response: The question was to provide documentation as to <u>WHY</u> the schools rejected the land? It is our understanding that it was due to the extensive mitigation that would be required to build on the land. Please provide this documentation.

Developer Response: provided by Bruce Huxley with Jefferson County School District on the reasoning behind their decision to request fee-in-lieu verses land dedication.

1. **The original ODP initially planned for Alkire Street to extend north through, what is now the Golf Course. This circulation change limits the access into and out of a potential elementary school site.**
2. **The proposed site acreage of approximately 6.7 acres did not meet the minimum requirement for an elementary school. The intent was to share the 2.5 acre park area for a total site area of approximately 9.2 acres.**
3. **Topography challenges on the land proposed by the developer limited what the school district could build.**
4. **The proposed site acreage was limited because the developer was able to utilize previously "banked" land dedication.**
5. **The school district attempted to work with several developers in the area to consolidate the various land dedication requirements into a single site, but was unsuccessful.**

3. The "fees-in-lieu" being offered for the Tract B school land includes using banked Ken Caryl School Land credits. It seems that the private developer is accessing these credits for their use. Please explain who controls and approves the use of these Ken Caryl School Land credits.

   County Response: Park and School requirements are governed by Section 32 of the Land Development Regulation. Per Section B.3.i.:

   Any park or school land dedication that exceeds the minimum required may be banked for use in satisfying the land dedication needs for a future development. Banked credits may only be used to satisfy the dedication requirements of a development that is considered to be a part of the overall original development. The determination of whether a subsequent development is considered a part of overall original development shall be made by Planning and Zoning. This requirement shall not serve to supersede or eliminate any dedication credits that may have been accumulated under previous versions of this Regulation, and such accumulated credits shall be allowed to be used in accordance with the regulation that was in effect at the time of the original dedication.

   Due to previous land dedications within the Ken Caryl neighborhood, there are existing park and school land credits available to be used. The applicant has identified those credits that they would propose to use for both developments and Staff is currently reviewing these requests.

4. The "fees-in-lieu" being offered for the Tract B school land includes using banked Ken Caryl School Land credits. It seems that the private developer is accessing these credits for their use. Please explain who controls and approves the use of these School Land credits.

   County Response: Park and School requirements are governed by Section 32 of the Land Development Regulation. Per Section B.3.i.:

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Due to previous land dedications within the Ken Caryl neighborhood, there are existing park and school land credits available to be used. The applicant has identified those credits that they would propose to use for both developments and Staff is currently reviewing these requests.

PARK AND RECREATION FACILITIES

1. The proposed Park and Rec development at Parcel A includes a concrete trail that terminates at the Chatfield Senior High School property. Access to public school grounds is typically controlled for security concerns. Has Jeffco Schools been notified regarding this trail? If so, what is their response about allowing access to their property via this trail?

   County Response: Jefferson County has followed up with the R-1 School District to verify any comments they might have on the proposed trail connection.

2. While we appreciate NADG's desire to fold the home-owning residents of its development into an arrangement that allows their use of KCRMD facilities and amenities, this issue alone galvanizes Ken Caryl residents' concerns on many levels: Current over-crowding of facilities, overdue maintenance, the financial impact going forward at a time when our residents have experienced increased taxes, three rounds of increased HOA dues, and the assessment of fees to use facilities. The inequity of this arrangement to grant use of these facilities—favoring as it does a private developer—needs to be addressed substantively for residents. To assume that pickle ball courts, concrete corn hole etc and strips of land for pathways equate to what Ken Caryl residents have at stake is not reasonable or equitable. At what cost to residents—in terms of facilities and amenities--does the NADG development go forward as planned? This requires a thoughtful, serious answer that includes new solutions.

   Developer Response: As with prior development within the Ken-Caryl Ranch master plan, the park, trail, recreation and related amenities planned as part of NADG development of Parcels A and B serve the interests of new residents as well as provide added amenities for use by existing residents. These planned improvements are extensive (including parks, trails, greenbelts, children play areas, open play fields, fitness stations, pickle ball courts, picnic areas and outdoor family gathering places) and are in keeping with high standards of prior Ken-Caryl development. In addition, NADG has agreed to convey Tract B (approximately 7.7 acres) to KCRMD, and to re-grade the steeper slopes of Tract B to a useable condition.

   From the beginning (starting in January 2020) of NADG dialogue with staff and leaders of Ken-Caryl Ranch Master Association and Ken-Caryl Ranch Metro District, NADG was informed that full integration of its properties and ultimate residents into the overall Ken-Caryl community was of high priority and in the best interests of Ken-Caryl Ranch residents. The NADG lands are and always have been part of Ken-Caryl Ranch Master Association by virtue of its formation and land additions in 1976 when all other Ken-Caryl lands were so included. The NADG lands were

part of Plains Metro District, and by agreement of the parties, are now excluded from Plains Metro District and included within Ken-Caryl Ranch Metro District. There will be significant positive financial impact from KCRMA dues and KCRMD tax revenues to be generated from inclusion of the NADG lands, whereby the revenues generated will significantly exceed the costs of maintaining acquired park, trail and recreation facilities. Such financial information and forecasts are available from KCRMA and KCRMD.

The NADG lands have been part of the Ken-Caryl Ranch master plan since Jefferson County approved the Ken-Caryl Ranch Official Development Plan (1970's). The Ken-Caryl Ranch master plan anticipated an additional 1,050 residential units from these lands; however, NADG is seeking approval of 745 units…a 29% reduction. Development of the NADG lands and associated infrastructure and amenities will finally result in completion of the Ken-Caryl master plan, fully engage all residents in enjoyment of and responsibility for all Ken-Caryl amenities and infrastructure…resulting in broad equity across the Ken-Caryl community.

GEOLOGY

1. Will the Dipping Bedrock Overlay District Regulations be strictly adhered to regarding over-excavation and wetting of soils? (The bentonitic dipping bedrock lenses run in ribbons, some closer to the surface than others, and may not be adequately represented in the geotechnical report). Please elaborate.

   County Response: The site is required to meet the regulations of the Dipping Bedrock Overlay District.

   Developer Response: Yes, the site has been designed to conform to the regulations. The site Geotechnical consultant has provided additional recommendations regarding the treatment and processing of soils to mitigate impacts. The Geotechnical team is experienced with the dipping bedrock and the challenges it can present and have worked closely with the engineers on sub-excavation and earthwork plans.

2. Will over-excavated soil that is transferred to Parcel A be properly wetted and tested to mitigate expansive qualities that may have negative impacts on lightly loaded structures?

   County Response: Proper testing of overexcavated soil will be required to be completed during construction and will be overseen by the site Geotechnical Consultant.

   Developer Response: The site Geotechnical consultant has provided additional recommendations regarding the treatment and processing of soils to mitigate impacts. All soils will be tested during placement to ensure optimum moisture content and compaction.

3. The AGW "Site Development Study" revised 7/2/21 says "Off-site material considered for new fill should be evaluated by AGW prior to importing to the site…. The following are general site grading recommendations: 1. It is recommended that AGW be retained on an essentially full-time basis to observe and test the fill placement. AGW should also be retained to provide observations and/or testing of the other items discussed below. The purpose of this observation and testing is to provide the Client with a greater degree of confidence that the work is being performed within the recommendations of this study and the project specifications." Please elaborate on the testing of imported soils, and how a full time, on site personnel will be utilized to observe and test the placement fill. Given the poor quality of the existing soils for a housing development, this is an exceptionally important matter, and should be a contingency to the development of the Parcels.

   County response: The County requires As-Builts and Post construction Investigations to be performed by geotechnical consultant to oversee the soil modification, moisture conditioning, etc.

   Developer Response: Geotechnical engineering consultants are an integral part of the overlot grading and overexcavation process. Moisture-density testing is conducted throughout the day while fill is being placed and compacted. The geotechnical engineering technicians also observe the contractor's processes. Hand drive samples of the fill are taken and swell-consolidation testing is performed on these samples to evaluate the swell potential of the moisture-conditioned fill. The project team (contractor, homebuilder, geotechnical engineer, surveyor, civil engineer) works together to make sure that the fill being placed is properly broken down, moisture conditioned, placed in controlled lifts, and compacted. The team follows the overlot grading and overexcavation recommendations provided in the Geotechnical Site Development Study. After the fill is placed and the lots are up to grade, the geotechnical engineer does additional subsurface investigation for each lot – performing additional laboratory testing – to

further evaluate the fill prior to construction of the residences.

4. The geotechnical report prepared by AGW (2/26/20), when describing the site conditions says "Historically, a higher rate of damage has occurred where dipping beds of expansive claystone are found near the ground surface. Therefore, this site must be considered a high-risk site and special considerations are required during design and construction to reduce the risk of damage to structures." The report further says "the solutions or recommendations presented in any geotechnical evaluation should not be considered risk-free and, more importantly, are not a guarantee that the interaction between the soils and the proposed structures will perform as desired or intended." The new "Deer Creek" development nearby on S Shaffer Parkway has a Soils and Foundations Summary prepared by CTL Thompson, which says "Home owner and/or property manager maintenance will be required to control risk. We recommend the builder provide a booklet to the home buyers and property managers that describes swelling soils and includes recommendations for care and maintenance of buildings constructed on expansive soils. Colorado Geological Survey Special Publication 431 was designed to provide this information." and also serves as a Home Buyer Advisory. Will the proposed NADG developments provide similar information, including a Home Buyer Advisory, to inform the home buyers of the risk associated with the geologic hazards of the soil conditions?

   Developer Response: Any disclosures will be determined by the home builder prior to closing of the lots.

   County Response: Standard plat notes and restrictions regarding dipping bedrock are included.

5. The Colorado Geological Survey review of resubmittals for Filing 2 (Parcel B) dated 3/14/22 states **"CGS remains concerned regarding the constructability of some areas within this site due to significant cuts to facilitate final grades, overexcavation depths to mitigate steeply dipping bedrock, and the shallow, hard bedrock conditions",** and "CGS remains concerned with the significant grading proposed for this site and the need for temporary shoring and/or slope stabilization." Please comment. Also, has CGS reviewed the submittals for Filing 1 (Parcel A)? If so, please provide their review for citizen review.

   Developer Response: Overexcavation and placement of moisture-treated fill is the recommended mitigation method by JeffCo (per their Land Development Regulations) and by practicing geotechnical engineers in the Denver Metro area for construction in the dipping bedrock. AGW has been involved in numerous projects in the dipping bedrock in our 50 year history and feel that the overexcavation process will result in a fill that houses and streets can be constructed on. The contractor will be made aware of the extra processing required due to the hardness of the claystone bedrock. The team involved in this project has years of experience working in the dipping bedrock in Jefferson and Douglas Counties.

   CGS has reviewed both Filing 1 and Filing 2 as part of the subdivisions process. The team has been working with them to address their questions throughout.

   County Response: CGS has review Filing 1, Parcel A.

WATER

1. Water is a current and future issue with huge potential impacts financially on Ken Caryl residents.

With rising costs of water due to availability and drought in Colorado and the Water District's expressed need to raise prices to address the costs of structural updates and deferred maintenance, how are Ken Caryl taxpayers protected against the financial exigencies created by the proposed NADG development(s) and specifically related to landscape plantings, maturation, and maintenance? (Given the impact of limiting watering the past several years within Ken Caryl Valley and North Ranch, this has potential serious implications well beyond statements re: "low impact vegetation" and "consultation with the Denver Botanical Gardens" as solutions.) Where is the study that assesses current and future financial impact?

Developer Response: Yes, the landscape design is focused on a low-water demand plant pallet to ensure we are being smart with current and future water demands. The KCR Metro District has reviewed the future costs for maintenance and water usage. We believe the KCR Metro Districts analysis can be found on their website.

ENVIRONMENTAL

1. Will this developmentalter the current wildlife corridor?
2. Does this development site(s) contain any endangered plant or animal species?
3. Does the development site(s) contain wetlands that will be destroyed or altered by the extreme amount of excavation and overburden that is proposed?

County Overall Environmental Response: With the Preliminary and Final Plat cases, the developer prepared both a Plat and Wetland Assessment and a Wildlife Habit Assessment. These Reports were reviewed by both the Colorado Parks and Wildlife and the US Fish and Wildlife. The US Fish and Wildlife responded that the Service has no concerns with this project resulting in impacts to species listed as candidate, proposed, threatened, or endangered.

Colorado Parks and Wildlife provided recommendations for the site which Staff has evaluated and determined are being met.

VARIANCE REQUEST – PARCEL A:

1. Ken Caryl citizens are concerned about the requested variance by NADG that relates to codes covering 10-foot setbacks from the public golf course. REDUCING this required 10-foot setback raises the following concerns: 1. The seeking of the variance AGAIN deepens an already continued pattern whereby NADG transfers its responsibilities onto residents; 2. The variance sought expects a prospective homeowner potentially to yield that property AND pay to plant a tree and 5 shrubs; 3. Fundamentally, why does NADG need the variance? If NADG cannot meet the code, the variance should be denied. Moreover, this request for a variance MUST be denied unless NADG can submit an alternative plan, at their cost, that complies with the Ken Caryl Ranch Master Association convenance. Please comment fully on why granting this variance is an appropriate course of action, other than to benefit NADG.
2. Who will enforce the tree/shrubs requirement? What consequences are there if a future homeowner doesn't want a tree blocking their views of the golf course or doesn't want the expense of maintaining trees and shrubs?
3. How would property taxes be determined on a shared setback, and would there be any loss of tax revenue?

Developer Response:

1 and 2 - You must be referring to the initial version of the Minor Variation. In the County email response dated April 11th the County stated the following:

1) *Staff is comfortable reviewing this request **without** the additional 10' setback requirement, unless this is something the applicant would prefer to include.*
2) *Over time, enforcing this requirement on private property will become difficult. Consider modifying this request to **eliminate** the landscape requirement*

We have kept the additional 10 ft of rear yard and removed the landscape requirement as requested by the County Staff. No additional hardship will be placed on the future residents. The rear setback along the golf course will be a total of 25 ft, 15 ft rear setback plus 10 ft dissimilar use area.

The additional setback area will not affect the property tax, there is no shared easement.

County Response:

This request was to waive landscape screen requirements along the north parcel boundary.

Staff supports this request and findings are based upon the following:

1. **The applicant proposes to meet the landscape screen (including the distance of 10' and the required plantings) by incorporating the landscaping into the backyards of the private, residential lots. In effect, the screen would still exist between the two uses and therefore cause no substantial change to the requirement.**
2. **The applicant and the adjoining Hogback Metro District will provide a community fence between the dissimilar uses, serving as an additional physical barrier and screen.**
3. **The adjoining use (golf course) should not be negatively affected by noise or sight impacts from the residential use.**
4. **There were no objections to this request from referral agencies.**
5. **While staff supports the request to waive the landscape screen based on the above findings, staff also finds that enforcing the plantings on private, residential lots will be difficult over time. Staff notes that there is no way for the Homeowners' Association to be held responsible for these plantings if the plantings are not located in a separate tract. By waiving the screen requirement, the County would not be in a position to enforce maintaining the landscaping installed on private property.**

HOGBACK METROPOLITAN DISTRICT
10106 West San Juan Way, Suite 205
Littleton, Colorado 80127

February 21, 2022

Nathan Seymour
Case Manager
Jefferson County Planning and Zoning
100 Jefferson County Parkway, Suite 3550
Golden, Colorado 80419

Re: Ken Caryl Ranch North Plains Filling 2
Case No. 21-136270PF

Dear Mr. Seymour:

This is to advise you that Hogback Metropolitan District has reviewed the attached exhibit which identifies entity responsibility for ownership and maintenance of certain tracts within the project area of Ken Caryl Ranch North Plains Filing 2.

On final plat approval by Jefferson County, Hogback Metropolitan District is prepared to accept ownership of: (1) Tracts A, E-H, J-S and X (landscape tracts); (2) Tract D (storm water detention); and Tracts B, C and I (private streets). On completion of construction of improvements specified in the Plat construction documents in compliance with Jefferson County requirements, Hogback Metropolitan District is prepared to accept maintenance responsibility thereof. Further, Hogback Metropolitan District will assume maintenance responsibility for all retaining walls and permanent community signage installed by the Developer and Builder(s).

Please let me know of any questions or comments.

Sincerely,
Hogback Metropolitan District

R Scott Burrows

R. Scott Burrows, Treasurer

MISC

KEN-CARYL RANCH
MASTER ASSOCIATION

7676 S. Continental Divide Rd.
Littleton, CO 80127
303-979-1876
info@kcranch.org
ken-carylranch.org

January 10, 2023

To: Jefferson County Planning and Zoning
From: Ken-Caryl Ranch Master Association and Ken-Caryl Ranch Architectural Committee
RE: Ken-Caryl Ranch Master Association and Ken-Caryl Ranch Architectural Committee Appeal to the Ken Caryl Ranch North Plains Filing 2 - Parking Minor Variation Request Decision.

The Ken-Caryl Ranch Master Association (MA) and the Ken-Caryl Ranch Architectural Control Committee (ACC) appeal the decision to grant the parking minor variation requested by NADG for relief from the requirements of the Ken-Caryl Ranch Official Development Plan (ODP) and subsequent amendments for Parcel B.

The Ken-Caryl Ranch ODP was adopted to provide minimum standards and a high quality of life to every current and future Ken-Caryl resident. The consideration that the NADG parking variance request is minor is, in our opinion, incorrect. The ODP requires that every R-3 K/C zoned residence meet a minimum parking standard, currently defined as "not less than two parking spaces (one parking space being a minimum of 300 square feet including that area which is required for ingress and egress) per dwelling unit." Additionally, each dwelling unit is required to have 2 covered parking spaces with a minimum of 400 square feet. Granting a parking standard that varies by residence size violates these requirements of the Ken-Caryl Ranch ODP. Reducing the parking standards for some residences will not be minor for them, their neighbors, neighborhoods in proximity to, businesses in proximity to, and users of recreational spaces in proximity to Parcel B as they will be directly affected by the increased need for additional parking.

The determination to approve the request from NADG for a variance from the Ken-Caryl Ranch ODP for Parcel B is not justified. The approval of any Jefferson County variance must be justified according to the standards set forth in Jefferson County's rules. In general, any variance approval must be determined to be in the best interest of the public. Approval of the parking variance for residences built in Parcel B will impose a lower quantifiable quality of life for residents.

Section VI of the Ken-Caryl Ranch ODP states that 'Prior to submission to the Board of Adjustment of any matter governed or meant to be governed with Ken-Caryl Ranch Planned Development district, such matters shall be first reviewed and approved by the Architectural Committee'.

Additionally, the Ken-Caryl Ranch Master Declaration, Article VIII, Architectural Committee, Section 8.03 – Review of Proposed Construction states 'Whenever in this Master Declaration or in any Supplemental Declaration the approval of the Architectural Committee is required, it shall have the right to consider all of the Plans and Specifications for the Improvement or proposal in question and all other facts which in its sole discretion are relevant. Except as provided in Section 3.15 and 3.16 above, prior to

commencement of any construction of any Improvement on Ken-Caryl Ranch, the Plans and Specifications therefore shall be submitted to the Architectural Committee, and construction thereof may not commence unless and until the Committee has approved such Plans and Specifications in writing. The Committee shall consider and act upon any and all Plans and Specifications submitted for its approval pursuant to this Master Declaration, and perform such other duties assigned to it by this Master Declaration or as from time to time shall be assigned to it by the Board, including the inspection of construction in progress to assure its conformance with Plans and Specifications approved by the Committee. The Committee shall approve Plans and Specifications submitted for its approval only if it deems that the construction, alterations, or additions contemplated thereby in the locations indicated will not be detrimental to the surrounding area or Ken-Caryl Ranch as a whole, and that the appearance of any structure affected thereby will be in harmony with the surrounding structures.'

Moving forward with this variance request prior to obtaining the approval of the Ken Caryl Ranch Architectural Control Committee is a significant violation of procedure. The processes listed in the Ken-Caryl Ranch ODP must be followed as a matter of law. Since this process was not followed, any determination that the requested variance is a minor variance, and granting such variance, is premature and not appropriate at this time.

The residents, and Ken-Caryl Ranch Architectural Committee urge that Jefferson County Commissioners uphold our appeal and find that the request by NADG for a parking variance from the Ken-Caryl Ranch ODP as proper procedures were not followed, and the impact is too large for the minimum variance exception. We ask that all the proposed dwelling units meet the ODP requirements of at a minimum two parking spaces per residence, 2 covered parking spaces with a minimum of 400 square feet, and at least one parking space being a minimum of 300 square feet.

Sincerely,

Ken-Caryl Ranch Master Association
Ken-Caryl Ranch Architectural Control Committee
Contact: info@kcranch.org, briany@kcranch.org

LEGEND

199 TOTAL TOWNHOMES

172 TOWNHOMES (TWO CAR GARAGE UNITS)

2 SPACES GARAGE (MINIMUM 400 SF)

- MEETS THE ODP REQUIREMENT FOR 2 PARKING SPACES PER UNIT AND 400 SF COVERED.

1 SPACE APRON (MINIMUM 300 SF)

- MEETS THE ODP REQUIREMENT FOR ONE SPACE WITH 300 SF.

27 TOWNHOMES (ONE CAR GARAGE UNITS)

1 SPACE GARAGE (MINIMUM 357 SF)

- MINOR VARIATION REQUEST TO ALLOW COVERED PARKING SQUARE FOOTAGE TO BE LESS THAN THE ODP REQUIREMENT OF 400 SF.

1 SPACE APRON

- MEETS THE ODP REQUIREMENT FOR 2 PARKING SPACES PER UNIT

18 BAY PARKING (9'x18'; 9'x20')

10 AMENITY CENTER PARKING (9'x18')

16 PARALLEL PARKING (8'x24')

ACCESSIBLE PARKING SPACE

16 BICYCLE PARKING (8 NEIGHBORHOOD) (8 PARK)

NOTES

1. ADDITIONAL ON-STREET PARKING SHALL BE PROVIDED ON BOTH SIDES OF THE LOCAL STREET.
2. APPROXIMATELY 16 SPACES OF ON-STREET PARKING SHALL BE PROVIDED FOR THE PARK.

PARKING REQUIRED	
398	THE APPROVED KEN CARYL RANCH ODP CONDOMINIUM RESIDENTIAL (R-3 K/C) REQUIRES 2 SPACES ON-SITE PER UNIT AND ONE SPACE BEING A MINIMUM OF 300 SF INCLUDING THAT AREA WHICH IS REQUIRED FOR INGRESS AND EGRESS. (199 X 2)
398	TOTAL PARKING REQUIRED (2 SP/UNIT)
CLUB AMENITITY IS PRIVATE AND FOR RESIDENTS ONLY AND THEREFORE WILL NOT REQUIRE ADDITIONAL PARKING SPACES.	

PARKING PROVIDED	
570	TOWNHOMES 516 SPACES (3 SPACES X 172 TWO CAR GARAGES) AND 54 (2 SPACES X 27 ONE CAR GARAGE AND APRON UNITS)
18	ON-SITE PARKING BAYS (16 SPACES + 2 ACCESSIBLE)
10	PRIVATE AMENITY CENTER (8 SPACES PLUS 2 ACCESSIBLE SPACES)
16	PARALLEL PARKING SPACES
614	TOTAL PARKING SPACES (3.08SP/UNIT)*

* PARKING PROVIDED (3.08 SP/UNIT) EXCEEDS ODP REQUIRED (2 SP/UNIT)

* 16' WIDE DRIVE APRONS CAN ACCOMMODATE 2 VEHICLES FOR AN ADDITIONAL 172 SPACES FOR A TOTAL OF 786 SPACES. (3.94 SP/UNIT)

REVISED 01-10-2023

N

0 25 50 100

SCALE: 1" = 50'

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
5500 Ward Court, Suite 200
Littleton, Colorado 80120
REDLAND.COM

DRAWN	EJK, BJB
CHECKED	TJF, SW
APPROVED	TJF, SW
PROJECT NO.	20001.004
HORZ. SCALE	1" = 50'
VERT. SCALE	

DATE	NO	NOTES
05/16/2022	1	SUBMITTAL TO COUNTY
01/03/2023	2	SUBMITTAL TO COUNTY

KEN-CARYL RANCH NORTH PLAINS FILING 2

PARKING EXHIBIT

SHEET

1 OF 1

I:\2020\20001 - Ken Caryl Ranch\CADD\Exhibits\20001.005 Parcel B Parking Exhibit\20001_Parcel B - Parking Exhibit.dwg tab: PARKING Jan 10, 2023 - 7:07pm ttrazier

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
1500 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

MEMORANDUM

To: Nathan Seymour – Jefferson County

Prepared By: Susan Wade – Redland

Date: January 20, 2023 ~~January 4, 2023~~

RE: KCR Parcel B/Filing 2 Revised Parking Exhibit and Minor Variation

---

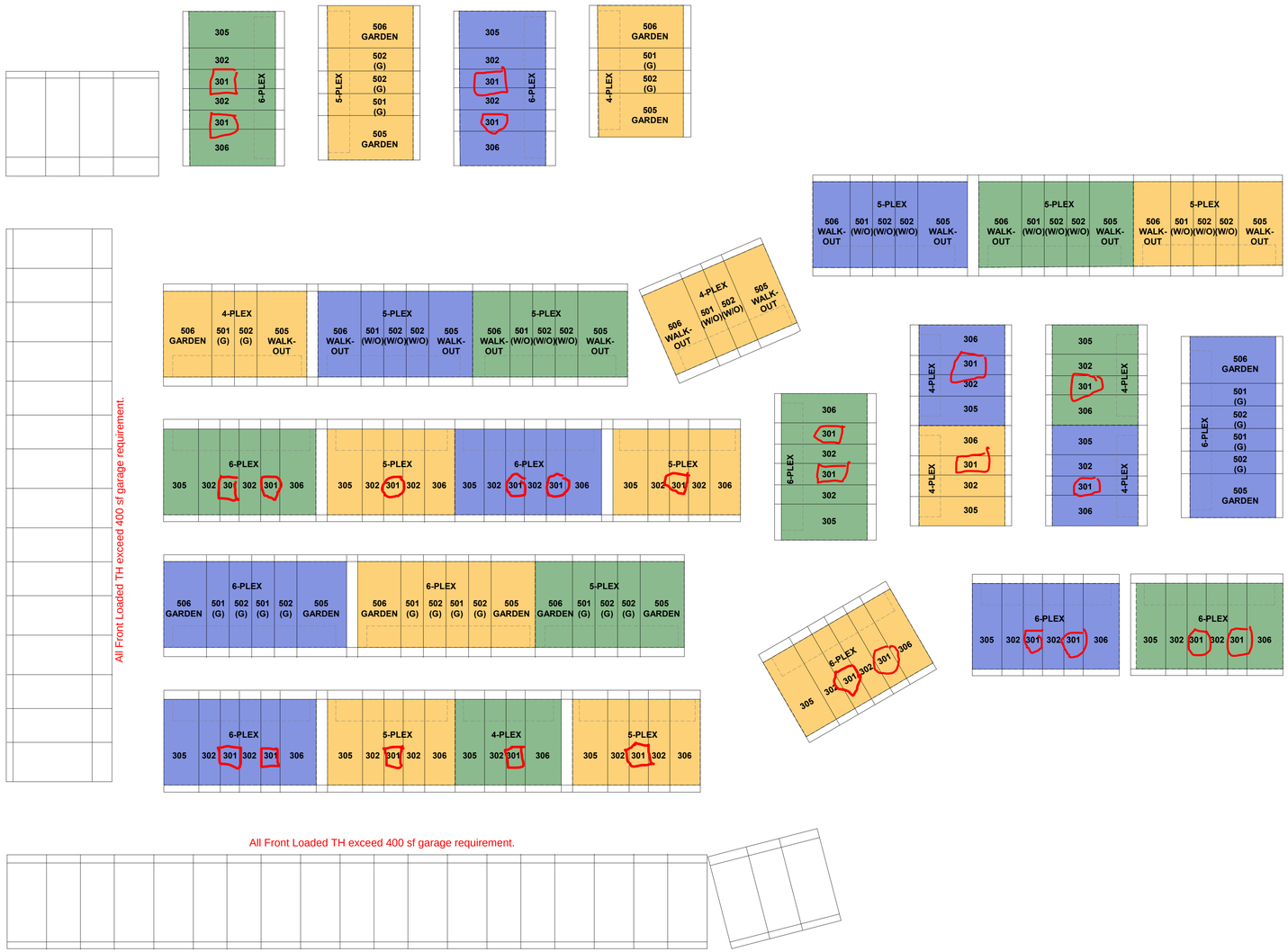
Please note the attached Ken Caryl Ranch Parcel B UNIT LAYOUT prepared by Godden Sudik. With the refinement of the KCR Parcel B/Filing 2 architecture, the garage square footages for the 172 townhomes with two-car garage now meets the ODP 400 sf requirement. Please see the correct garage square footages based on the unit summary prepared by the project Architects at Godden Sudik.

The current condition nullifies the first portion of the approved Minor Variation Request. The second portion of the approved Minor Variation Request remains intact and approved.

The approved Minor Variance requested two items:

1) Reduce the covered parking square footage requirement from 400 sf to 367 sf for the 172 townhomes with a two-car garage. NO LONGER THE CONDITION – THE 400 SF GARAGE REQUIREMENT HAS BEEN MET.
2) Reduced the covered parking square footage requirement from 400 sf to 357 sf for the 27 townhomes with a single car garage. MVR REMAINS APPROVED BY JEFFERSON COUNTY.

SEE WHAT COULD BE



1 SITE PLAN
1" = 60'-0"

300-SERIES		# OF PLEXES
PLEX	STYLE	
4-PLEX	CONTEMPORARY FARMHOUSE	1
4-PLEX	COLORADO MODERN	2
4-PLEX	MODERN HILL COUNTRY	2
5-PLEX	CONTEMPORARY FARMHOUSE	4
6-PLEX	CONTEMPORARY FARMHOUSE	1
6-PLEX	COLORADO MODERN	4
6-PLEX	MODERN HILL COUNTRY	4

500-SERIES		GARDEN	WALK-OUT	COMBO
PLEX	STYLE			
4-PLEX	CONTEMPORARY FARMHOUSE	1	1	1
5-PLEX	CONTEMPORARY FARMHOUSE	1	1	0
5-PLEX	COLORADO MODERN	1	2	0
5-PLEX	MODERN HILL COUNTRY	0	2	0
6-PLEX	CONTEMPORARY FARMHOUSE	1	0	0
6-PLEX	MODERN HILL COUNTRY	2	0	0

UNIT 301 AREAS

NAME	AREA
UNIT 301 - CONDITIONED	
1ST LEVEL	400 SF
2ND LEVEL	699 SF
	1,099 SF
UNIT 301 - UNCONDITIONED	
GARAGE	357 SF
PATIO	261 SF
	618 SF
	1,717 SF

Single-car garage - 27 units circled in red.

UNIT 302 AREAS

NAME	AREA
UNIT 302 - CONDITIONED	
1ST LEVEL	485 SF
2ND LEVEL	781 SF
	1,266 SF
UNIT 302 - UNCONDITIONED	
PATIO	257 SF
GARAGE	399 SF
	656 SF
	1,921 SF

Close enough for good measure

UNIT 305 AREAS

NAME	AREA
UNIT 305 - CONDITIONED	
1ST LEVEL	608 SF
2ND LEVEL	882 SF
	1,489 SF
UNIT 305 - UNCONDITIONED	
PATIO	217 SF
GARAGE	420 SF
	637 SF
	2,126 SF

UNIT 306 AREAS

NAME	AREA
UNIT 306 - CONDITIONED	
1ST LEVEL	641 SF
2ND LEVEL	977 SF
	1,618 SF
UNIT 306 - UNCONDITIONED	
PATIO	252 SF
GARAGE	462 SF
	714 SF
	2,332 SF

UNIT 501 (GARDEN) AREAS

NAME	AREA
501 (GARDEN) CONDITIONED	
1ST LEVEL	493 SF
2ND LEVEL	832 SF
BASEMENT	498 SF
	1,824 SF
501 (GARDEN) UNCONDITIONED	
GARAGE	414 SF
PATIO	207 SF
	621 SF
	2,445 SF

UNIT 501 (WALK-OUT) AREAS

NAME	AREA
501 (WALK-OUT) CONDITIONED	
1ST LEVEL	493 SF
2ND LEVEL	832 SF
BASEMENT	498 SF
	1,824 SF
501 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	213 SF
DECK	130 SF
GARAGE	414 SF
	758 SF
	2,581 SF

UNIT 502 (GARDEN) AREAS

NAME	AREA
502 (GARDEN) CONDITIONED	
1ST LEVEL	614 SF
2ND LEVEL	965 SF
BASEMENT	614 SF
	2,193 SF
502 (GARDEN) UNCONDITIONED	
GARAGE	414 SF
PATIO	241 SF
	655 SF
	2,849 SF

UNIT 502 (WALK-OUT) AREAS

NAME	AREA
502 (WALK-OUT) CONDITIONED	
1ST LEVEL	614 SF
2ND LEVEL	965 SF
BASEMENT	614 SF
	2,193 SF
502 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	162 SF
DECK	165 SF
GARAGE	414 SF
	741 SF
	2,935 SF

UNIT 505 (GARDEN) AREAS

NAME	AREA
505 (GARDEN) CONDITIONED	
1ST LEVEL	1,457 SF
BASEMENT	1,217 SF
	2,673 SF
505 (GARDEN) UNCONDITIONED	
GARAGE	423 SF
PATIO	80 SF
	503 SF
	3,176 SF

UNIT 505 (WALK-OUT) AREAS

NAME	AREA
505 (WALK-OUT) CONDITIONED	
1ST LEVEL	1,457 SF
BASEMENT	1,217 SF
	2,673 SF
505 (WALK-OUT) UNCONDITIONED	
GARAGE	423 SF
PATIO	80 SF
	503 SF
	3,176 SF

UNIT 506 (GARDEN) AREAS

NAME	AREA
506 (GARDEN) CONDITIONED	
1ST LEVEL	1,113 SF
2ND LEVEL	724 SF
BASEMENT	979 SF
	2,816 SF
506 (GARDEN) UNCONDITIONED	
GARAGE	424 SF
PATIO	134 SF
	558 SF
	3,375 SF

UNIT 506 (WALK-OUT) AREAS

NAME	AREA
506 (WALK-OUT) CONDITIONED	
1ST LEVEL	1,113 SF
2ND LEVEL	724 SF
BASEMENT	979 SF
	2,816 SF
506 (WALK-OUT) UNCONDITIONED	
BASEMENT PATIO	134 SF
DECK	134 SF
GARAGE	424 SF
	693 SF
	3,509 SF

KEN CARYL PARCEL B TOWNHOMES

AREAS & STYLE LAYOUT

000

02-15-2022

Godden|Sudik ARCHITECTS

303.455.44

5975 S. QUEBEC ST., STE. 250

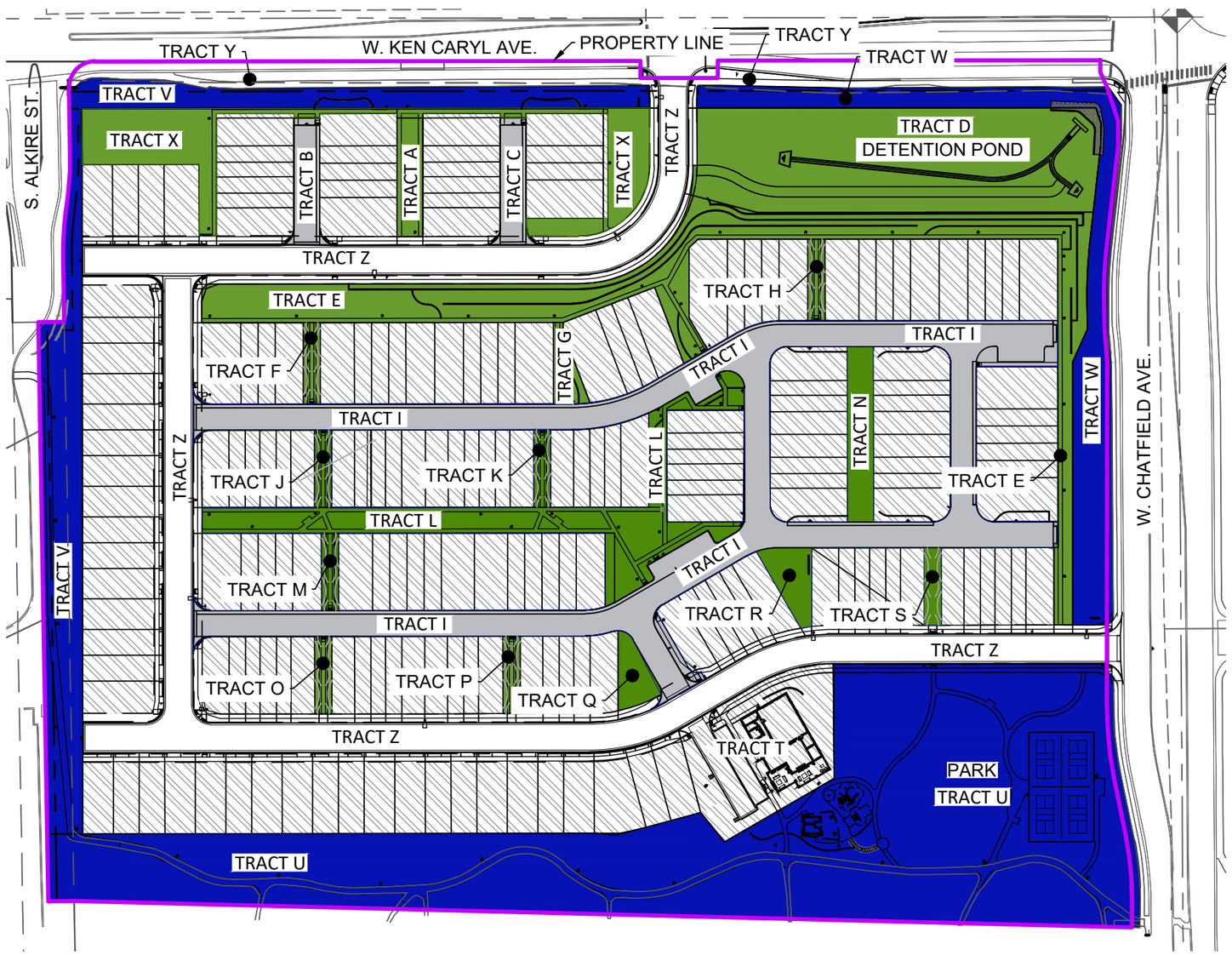
LEGEND

- KEN CARYL METRO-DISTRICT
- HOGBACK METRO-DISTRICT LANDSCAPE AREA
- HOGBACK METRO-DISTRICT PRIVATE STREETS
- NORTH AMERICAN DEVELOPMENT GROUP
- PUBLIC ROW - JEFFERSON COUNTY

N

0 75 150 300

SCALE: 1" = 150'



TRACT	AREA (AC)	OWNER	USE
TRACT A	0.10	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT B	0.11	HOGBACK METRO DISTRICT	ACCESS AND UTILITIES
TRACT C	0.11	HOGBACK METRO DISTRICT	ACCESS AND UTILITIES
TRACT D	1.62	HOGBACK METRO DISTRICT	DRAINAGE AND LANDSCAPING
TRACT E	1.13	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT F	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT G	0.06	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT H	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT I	1.90	HOGBACK METRO DISTRICT	ACCESS AND UTILITIES
TRACT J	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT K	0.02	HOGBACK METRO DISTRICT	ACCESS AND TRAILS
TRACT L	0.63	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT M	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT N	0.14	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT O	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT P	0.02	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT Q	0.08	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT R	0.09	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT S	0.02	HOGBACK METRO DISTRICT	ACCESS AND TRAILS
TRACT T	0.52	NORTH AMERICAN DEVELOPMENT GROUP	CLUBHOUSE
TRACT U	4.19	KEN–CARYL RANCH METRO DISTRICT	PARK
TRACT V	0.70	KEN–CARYL RANCH METRO DISTRICT	LANDSCAPE BUFFER
TRACT W	0.66	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT X	1.98	HOGBACK METRO DISTRICT	ACCESS, TRAILS AND LANDSCAPING
TRACT Y	0.92	JEFFERSON COUNTY	PUBLIC R.O.W
TRACT Z	2.11	JEFFERSON COUNTY	PUBLIC R.O.W
TOTAL ACREAGE :	17.2		

TRACT TYPE	AREA (AC)	TRACT	OWNER
LANDSCAPE TRACTS	5.55	TRACTS U, V, AND W	KEN–CARYL RANCH METRO DISTRICT
	4.37	TRACTS A, E–H, AND J–S, X	HOGBACK METRO DISTRICT
DETENTION POND	1.62	TRACT D	HOGBACK METRO DISTRICT
PRIVATE STREETS	2.12	TRACTS B, C, AND I	HOGBACK METRO DISTRICT
CLUBHOUSE SITE	0.52	TRACT T	NORTH AMERICAN DEVELOPMENT GROUP
PUBLIC R.O.W.	3.03	TRACT Y, Z	JEFFERSON COUNTY
TOTAL ACREAGE :	17.2		

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
1560 West Caskill Court
Littleton, Colorado 80120
REDLAND.COM

DATE 02.09.2022
DRAWN
CHECKED
APPROVED
PROJECT NO. 20001.004

OWNERSHIP & MAINTENANCE

KEN CARYL RANCH NORTH PLAINS

FILING 2

KEN CARYL CO

SHEET 1 OF 1

I:\2020\20001 - Ken Caryl Ranch\CADD\Exhibits\2021-10-22_Parcel B O&M Exhibit\20001 - Ken Caryl Parcel B Metro District O&M.dwg tab: O&M Feb 24, 2022 - 1:50pm ekoski

COMMISSIONERS DEED
CD 22-132642 DE

THIS INDENTURE made this ____ day of _____, 20__, between the County of Jefferson, State of Colorado (the "County") acting by and through its duly constituted and appointed Commissioner Andrew Kerr, Chairman to execute deed, and the Ken-Caryl Ranch Master Association (the "Grantee") whose address is 7676 S Continental Divide Rd, Littleton, CO 80127.

WHEREAS, the Board of County Commissioners of the County of Jefferson, State of Colorado, did duly adopt and pass Policy and Procedure Section 5.19 entitled "Signature Authority For Deeds and Easements", which policy authorizes the quitclaim of the hereinafter described real property to Grantee and appoints and constitutes the undersigned as Commissioner to quitclaim and execute a deed for said real property to Grantee for and on behalf of the County.

NOW, THEREFORE, for and in consideration of the sum of One Dollar and other good and valuable consideration, in hand paid by Grantee to the County, receipt of which is hereby confessed and acknowledged, the undersigned, acting as Commissioner aforesaid, does by these presents remise, release, sell, and quit claim unto Grantee and its successors and assigns, all the right, title, interest, claim and demand which the County has in and to the following described real properties situate, lying and being in the County of Jefferson, State of Colorado:

Tracts U and V,
Ken Caryl Ranch North Plains Filing 2
Recorded at Reception Number _____
County of Jefferson,
State of Colorado.

TO HAVE AND TO HOLD the same, together with all and singular appurtenances and privileges thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of the County, either in law or equity, to the only proper use, benefit and behalf of the Grantee, its successors and assigns for so long as the properties are used exclusively for park purposes. In the event the properties are not used for park purposes, they shall revert to the County.

IN WITNESS WHEREOF the undersigned, acting by and for the County, as aforesaid, has hereunto set her hand and seal the day and year first above written, and has affixed the seal of the County hereunto.

(Seal)

COUNTY OF JEFFERSON, STATE OF COLORADO

By: _____
Andrew Kerr, Chairman
Board of County Commissioners

STATE OF COLORADO

COUNTY OF JEFFERSON

The foregoing instrument was acknowledged before me this ____ day of _____, 20__ by Andrew Kerr, Chairman of the Board of County Commissioners, County of Jefferson, State of Colorado.

Witness my hand and seal.

_____
Notary Public

Approved as to Form:

_____
Assistant County Attorney

Board of County Commissioners

Michelle Lawrence
District No. 1
Patricia B. Holloway
District No. 2
Richard M. Sheehan
District No. 3

February 4, 2004

Ken Caryl Ranch Master Association
ATTN: Chris Pacetti
7676 S. Continental Divide Road
Littleton, CO 80127

RE: Removal of bus benches containing advertisements

Dear Mr. Pacetti:

The Ken Caryl Ranch Master Association has asked the County to remove certain bus benches that contain advertising and which exist in the Association's jurisdiction. The Association points to the Ken Caryl Ranch Official Development Plan (ODP) requirement that the Association's Architectural Review Committee must approve these type of signs. *See ODP Section IV-A entitled General Zoning Regulations - Signs*. This provision attempts to give authority over the County's zoning regulations to a private entity.

This ODP provision claims to give the Association the power to veto a sign that may otherwise comply with the Jefferson County Zoning Resolution. The provision, however, does not give any standards or guidelines for the Association to follow in allowing or disallowing a sign.

This provision of the ODP (and any other similar provision that requires approval of the Association) is not enforceable, as it is an unlawful delegation of the County's Zoning Powers. The County can not delegate its zoning powers to a private entity. I would further assert that the provision gives absolutely no standards for the Association to follow, which limits its enforceability.

Therefore, Zoning Administration will follow the Zoning Resolution regulations regarding the issuance of signs. In this case, the Zoning Resolution allows for the bus benches and does not limit the type of advertising displayed on such benches. I appreciate the opportunity to comment on this matter. If you have any questions, please feel free to speak with me.

Sincerely,

Timothy W. Carl, Zoning Administrator
Jefferson County Planning and Zoning Division

cc: File
ODP Book 3, Page 1
Jeanie Rossillon, Highways and Transportation
Jean Ayars, County Attorney's Office

Board of County Commissioners

Michelle Lawrence
District No. 1
Patricia B. Holloway
District No. 2
Richard M. Sheehan
District No. 3

April 19, 2004

Mr. Ron Sladek, President
Tatanka Research Inc.
PO Box 1909
Fort Collins, CO 80522

Re: Clarification of activities for the Fat City complex at 9670 W. Coal Mine Avenue

Dear Mr. Sladek:

Thank you for your letter dated April 15, 2004. In regard to your two questions: you are correct, a Site Development Plan process will be required for the two outdoor patio area expansions, as I previously noted in September 2002. The proposed installation of two side-by-side outdoor volleyball courts adjacent to the outdoor patio would be allowed based on the permitted uses established in the Official Development Plan for the property. A Miscellaneous Permit must be obtained for the outdoor volleyball courts to ensure setbacks are met for the facilities.

If you have any questions, please feel free to speak with me at 303-271-8710.

Sincerely,

Timothy W. Carl, Zoning Administrator
Jefferson County Planning and Zoning Division

cc: file
Bev Evans, Pre-Development Coordinator

CURRENT ZONING

ODP BK3-Page 1. 1355 4186

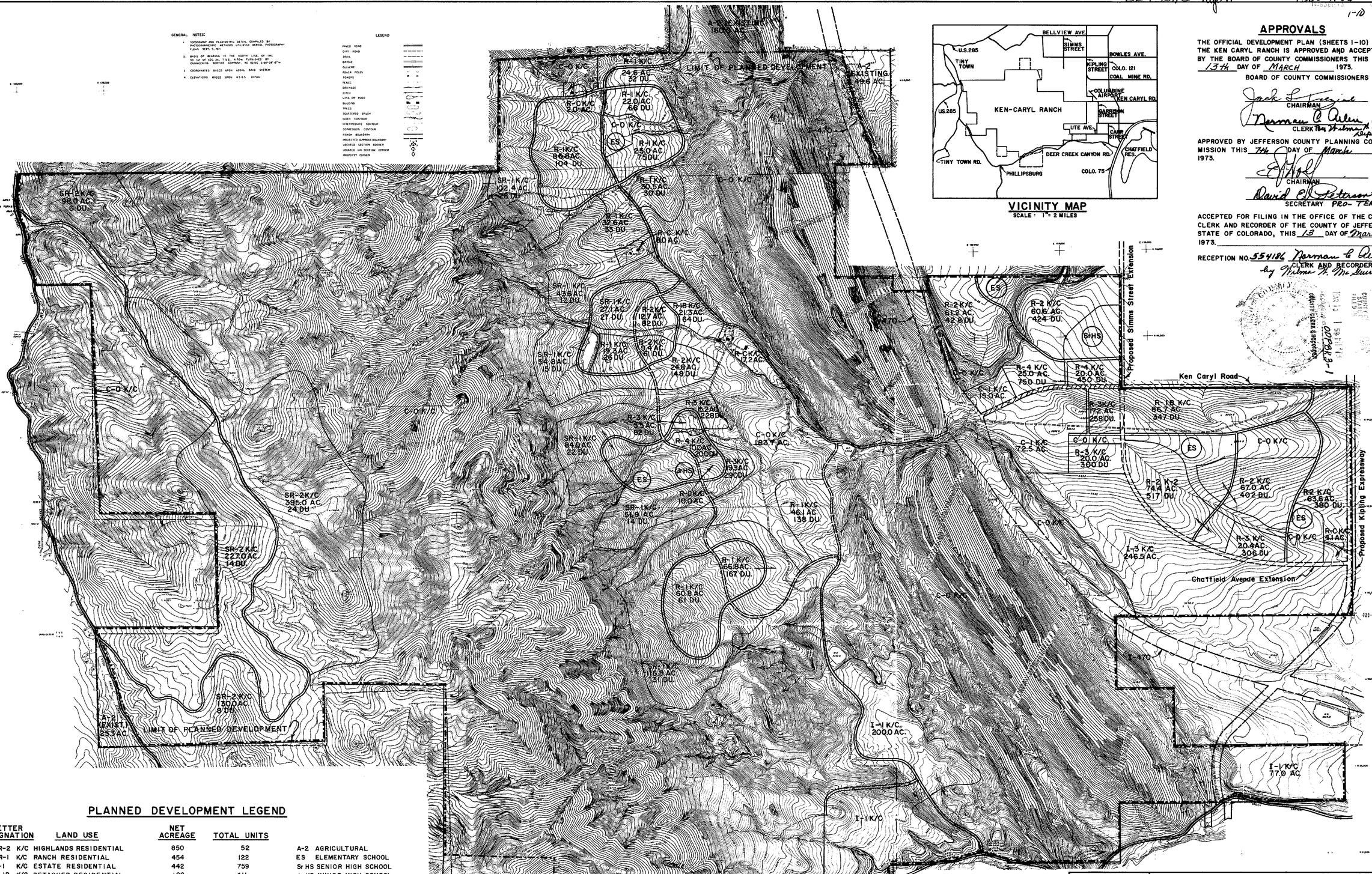
1-10

GENERAL NOTES:

1. TOPOGRAPHY AND PLANIMETRIC DETAIL COMPILED BY PHOTOGRAMMETRIC METHODS UTILIZING AERIAL PHOTOGRAPHY FLOWN SEPT. 9, 1971.
2. BASIS OF BEARING IS THE NORTH LINE OF THE SE 1/4 OF SEC. 26, T.5S., R.70W. FURNISHED BY ENGINEERING SERVICE COMPANY, AS BEING S 88°06'15"W
3. COORDINATES BASED UPON LOCAL GRID SYSTEM
4. ELEVATIONS BASED UPON U.S.G.S. DATUM

LEGEND

PAVED ROAD
DIRT ROAD
TRAIL
BRIDGE
CULVERT
POWER POLES
TOWERS
FENCE
DRAINAGE
DITCH
LAKE OR POND
BUILDING
TREES
SCATTERED BRUSH
INDEX CONTOUR
INTERMEDIATE CONTOUR
DEPRESSION CONTOUR
RANCH BOUNDARY
PROJECTED GAMMON'S BOUNDARY
LOCATED SECTION CORNER
LOCATED 1/4 SECTION CORNER
PROPERTY CORNER



VICINITY MAP
SCALE: 1" = 2 MILES

APPROVALS

THE OFFICIAL DEVELOPMENT PLAN (SHEETS 1-10) OF THE KEN CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 13th DAY OF MARCH 1973.

BOARD OF COUNTY COMMISSIONERS

Jack L. Kessler
CHAIRMAN

Norman C. Allen
CLERK by Thelma H. McGuire Deputy Clerk

APPROVED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 7th DAY OF March 1973.

CHAIRMAN

David E. Peterson
SECRETARY PRO-TEM

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13 DAY OF March 1973.

RECEPTION NO. 554186 Norman C. Allen
CLERK AND RECORDER
by Thelma H. McGuire Deputy Clerk

554186

ODP BK3-1

PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS
SR-2 K/C	HIGHLANDS RESIDENTIAL	850	52
SR-1 K/C	RANCH RESIDENTIAL	454	122
R-1 K/C	ESTATE RESIDENTIAL	442	759
R-1B K/C	DETACHED RESIDENTIAL	108	411
R-2 K/C	PATIO RESIDENTIAL	374	2442
R-3 K/C	CONDOMINIUM RESIDENTIAL	98	1464
R-4 K/C	APARTMENT RESIDENTIAL	55	1400
R-C K/C	NEIGHBORHOOD COMMERCIAL	41	--
C-1 K/C	REGIONAL COMMERCIAL	88	--
I-1 K/C	BUSINESS PARK	257	--
I-3 K/C	PLANNED INDUSTRIAL	277	--
C-0 K/C	RECREATION/OPEN SPACE	5691	--
	SCHOOLS AND PARKS	140	--
	ROADS	264	--
	TOTALS	9139	

A-2 AGRICULTURAL
ES ELEMENTARY SCHOOL
Sr HS SENIOR HIGH SCHOOL
Jr HS JUNIOR HIGH SCHOOL
PROPERTY LINE
PLANNED DISTRICT LIMIT
ZONE LIMIT
FREEWAY/EXPRESSWAY
6 LANE DIVIDED
4 LANE DIVIDED
4 LANE UNDIVIDED
2 LANE UNDIVIDED

6650 UNITS SHOWN ON PLAN
5500 UNITS MAX. TO BE DEVELOPED
0.60 UNITS/ACRE AVE. DENSITY

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 1 OF 10

THE KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

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LEGAL DESCRIPTION OF THE KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

Beginning at the Southeast corner of Section 33, Township 5 South, Range 69 West of the 6th P.M.; thence North 00°32'10" East along the East line of Section 33 a distance of 5280.65 feet, more or less, to the Northeast corner of said Section 33; thence North 89°25'05" West along the North line of said Section 33 a distance of 2665.98 feet, more or less, to the North quarter corner of said Section 33; thence North 89°47'50" West along the North line of said Section 33 a distance of 2643.45 feet, more or less, to the Northwest corner of said Section 33; thence North 00°42'28" East along the East line of Section 29, said Township and Range, a distance of 2627.76 feet, more or less, to the East quarter corner of said Section 29;

Thence North 89°26'53" West along the East-West centerline of said Section 29, a distance of 2678.26 feet, more or less, to the center of said Section 29; thence North 89°26'53" West along the East-West center line of said Section 29 a distance of 1808.32 feet; thence South 00°07'00" East a distance of 350.00 feet; thence North 89°45'30" West a distance of 791.90 feet, thence North 00°07'00" West a distance of 350.00 feet, more or less, to the West quarter corner of said Section 29; thence North 89°22'38" West along the East-West centerline of Section 30, said Township and Range, a distance of 1320.70 feet, more or less, to the Southwest corner of the East half of the Northeast quarter of Section 30, said Township and Range; thence North 00°34'13" East along the West line of the East half of the Northeast quarter of said Section 30 a distance of 2570.35 feet, more or less, to the Northwest corner of the East half of the Northeast quarter of said Section 30;

Thence North 89°51'19" East along the North line of said Section 30 a distance of 860.00 feet; thence North 15°56'41" West a distance of 2780.00 feet, more or less, to the East-West centerline of Section 19, said Township and Range; thence North 89°35'19" West a distance of 1340.00 feet, more or less, to the center of said Section 19; thence North 89°41'00" West along the East-West centerline of said Section 19 a distance of 2551.64 feet, more or less, to the West quarter corner of said Section 19; thence South 88°08'19" West along the East-West centerline of Section 24, Township 5 South, Range 70 West, a distance of 3960.16 feet, more or less, to the Northeast corner of the West half of the Southwest quarter of Section 24, Township 5 South, Range 70 West; thence South 01°10'59" West a distance of 2579.09 feet, more or less, to the Southeast corner of the West half of the Southwest quarter of said Section 24; thence South 89°45'54" West along the South line of said Section 24 a distance of 1315.10 feet, more or less, to the Northwest corner of Section 25, said Township and Range; thence South 89°45'54" West along the North line of Section 26, said Township and Range, a distance of 5482.37 feet, more or less, to the Northwest corner of Section 26, said Township and Range; thence South 89°49'56" West along the North line of Section 27, said Township and Range, a distance of 2743.42 feet, more or less, to the North quarter corner of Section 27, said Township and Range; thence South 89°41'48" West along the North line of said Section 27 a distance of 1499.45 feet, more or less, to the Easterly right-of-way line of Turkey Creek State Highway No. 124; thence Southerly along the Easterly right-of-way line of Turkey Creek State Highway No. 124 a distance of 2665.38 feet, more or less, to the East-West centerline of said Section 27; thence South 88°55'00" East along the centerline of said Section 27 a distance of 1265.54 feet, more or less, to the center of said Section 27; thence South 01°22'44" East along the North-South centerline of said Section 27 a distance of 2639.67 feet, more or less, to the South quarter corner of said Section 27; thence South 01°46'23" East along the North-South centerline of Section 34, said Township and Range, a distance of 2778.30 feet, more or less, to the center of Section 34, said Township and Range; thence North 87°47'18" East along the East-West centerline of said Section 34 a distance of 2602.01 feet, more or less, to the West quarter corner of Section 35, said Township and Range; thence South 02°01'25" East along the West line of said Section 35 a distance of 2648.39 feet, more or less, to the Southwest corner of said Section 35; thence North 88°19'14" West along the North line of Section 3, Township 6 South, Range 70 West, a distance of 2799.60 feet, more or less, to the North quarter corner of Section 3, Township 6 South, Range 70 West; thence South 02°28'01" East along the North-South centerline of said Section 3 to the Easterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124; thence Southeasterly along the Easterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124, to its intersection with the East-West centerline of said Section 3; thence South 89°27'55" East along the East-West centerline of said Section 3 a distance of 1444.99 feet, more or less, to the East quarter corner of said Section 3; thence North 89°01'00" East along the East-West centerline of Section 2, said Township and Range, a distance of 2598.41 feet, more or less, to the center of Section 2, said Township and Range; thence North 00° 44'47" West along the North-South centerline to the Southwest corner of the North half of the Northeast quarter of said Section 2; thence South 88°48'51" East a distance of 2741.02 feet, more or less, to the Southeast corner of the North half of the Northeast quarter of said Section 2; thence South 00°04'17" West along the East line of said Section 2 a distance of 1282.98 feet, more or less, to the East quarter corner of said Section 2; thence South 00°21'37" West along the West line of Section 1, said Township and Range, a distance of 2615.93 feet, more or less, to the Southwest corner of said Section 1; thence South 87°57'35" East along the South line of said Section 1 a distance of 2638.53 feet, more or less, to the South quarter corner of said Section 1; thence South 02°20'04" West to the Southwest corner of the North half of the Northeast quarter of Section 12, said Township and Range;

Thence South 87°58'15" East along the South line of the North half of the Northeast quarter of said Section 12, a distance of 2570.64 feet, more or less, to the Southeast corner of the North half of the Northeast quarter of said Section 12; thence South 00°30'28" East along the West line of Section 7, Township 6 South, Range 69 West, to its intersection with the North right-of-way line of Deer Creek Road, Colorado State Highway No. 124;

Thence Easterly and Northeasterly along the Northerly right-of-way line of said Deer Creek Road, Colorado State Highway No. 124, to its intersection with the Northerly line of Deer Creek Park; thence Northeasterly along the Northwesterly line of Deer Creek Park to its intersection with the East line of said Section 7; thence North 00°40'43" West a distance of 396.3 feet, more or less, to the Northeast corner of said Section 7; thence South 89°39'42" West along the North line of Section 8, said Township and Range, a distance of 942.00 feet, more or less, to its intersection with the Northerly line of Deer Creek Park; thence Easterly along the Northerly and Northeasterly line of Deer Creek Park to its intersection with the Northerly right-of-way line of Deer Creek Road, Colorado State Highway No. 124; thence Southeasterly along the Northeasterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124, to its intersection with the South line of Section 5, said Township and Range; thence South 88°36'02" West along the South line of said Section 5 to its intersection with the Northwesterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124; thence Northeasterly along the Northwesterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124, to its intersection with the East line of said Section 5; thence North 05°33'34" West along the East line of said Section 5 to the Southwest corner of the North half of the South half of Section 4, said Township and Range; thence North 89°46'19" West along the South line of the North half of the South half of said Section 4 a distance of 2315.40 feet, more or less, to its intersection with the Northerly right-of-way line of Deer Creek Road, Colorado State Highway No. 124; thence Easterly along the Northerly right-of-way line of Deer Creek Road, Colorado State Highway No. 124, to its intersection with the South line of the North half of the South half of said Section 4; thence North 89°46'19" West along the South line of the North half of the South half of said Section 4 a distance of 1834.19 feet, more or less, to the Southeast corner of the North half of the South half of said Section 4;

Thence North 00°12'56" East along the East line of said Section 4 a distance of 1332.10 feet, more or less, to the Northeast corner of the North half of the South half of said Section 4; thence North 89°50'04" West along the East-West centerline of said Section 4 a distance of 3938.62 feet, more or less, to the Southeast corner of the Southwest quarter of the Northwest quarter of said Section 4; thence North 00°05'04" East a distance of 1345.37 feet, more or less, to the Northeast corner of the Southwest quarter of the Northwest quarter of said Section 4; thence North 89°48'28" West a distance of 1305.62 feet, more or less, to the Northwest corner of the Southwest quarter of the Northwest quarter of said Section 4; thence North 00°21'08" West a distance of 1637.85 feet, more or less, to the Northwest corner of said Section 4; thence South 89°42'45" East a distance of 203.70 feet, more or less, along the South line of Section 32, Township 5 South, Range 69 West, to the Southwest corner of Section 33, said Township and Range;

Thence South 89°37'45" East along the South line of said Section 33 a distance of 2429.43 feet, more or less, to the North quarter corner of Section 4, Township 6 South, Range 69 West; thence South 89°36'00" East along the South line of Section 33, Township 5 South, Range 69 West, a distance of 204.40 feet, more or less, to the South quarter corner of said Section 33; thence South 89°36'00" East along the South line of said Section 33, a distance of 2429.02 feet, more or less, to the Northeast corner of Section 4, Township 6 South, Range 69 West; thence South 89°18'00" East along the South line of Section 33, Township 5 South, Range 69 West, a distance of 213.38 feet, more or less, to the Southeast corner of said Section 33, the point of beginning.

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24,1972 | SHEET 2 OF 10

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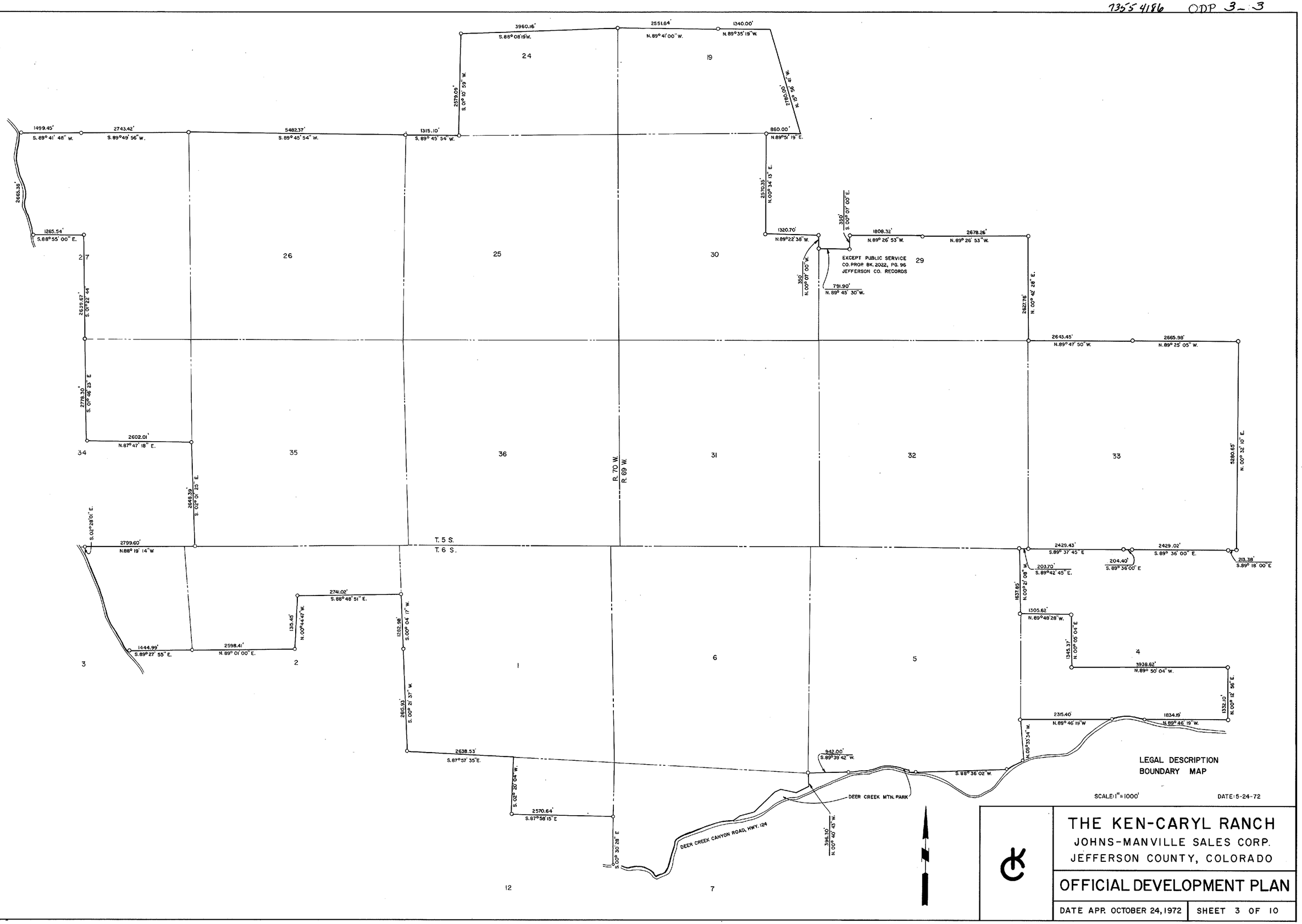

LEGAL DESCRIPTION
BOUNDARY MAP

SCALE: 1" = 1000'

DATE: 5-24-72

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APR. OCTOBER 24, 1972 | SHEET 3 OF 10

III. OUTLINE OF PROPOSED KEN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

A. Purpose and Intent

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in Jefferson County, Colorado, is the result of 14 months of extensive and deliberate analysis, evaluation, and planning efforts of Johns-Manville Sales Corporation and a wide variety of professional and technical consultants, including experts in the fields of economics, geology, hydrology, transportation, civil engineering, land use planning, environmental, ecology, architecture, and sociology.

The evaluation and analysis efforts of this planning group were initially directed toward the development of (1) a documentation and understanding of the presently existing character and (2) an investigation and analysis of the existing and future needs and pressures for economic development in both the local area surrounding the Ranch and in Jefferson County as a whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County, as set out in the County's Master Plan.

On the basis of the above studies of the existing uses and forecasted development trends, the efforts of the planning group were then directed toward the development of a land use plan for the Ranch which would most fully serve the future needs of the County while causing a minimum disruption of existing land uses in the area.

This application represents the results of the planning group's efforts to achieve the above-stated goals. The development of the plan for the Ranch presented a unique challenge for the planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challenge of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which, while maintaining an internal continuity of design and fulfilling all of the requirements of the County Master Plan, are not specifically provided for within the zoning resolutions or subdivision regulations of Jefferson County.

B. Planned Development Statistics

The Jefferson County Comprehensive Future Land Use Plan (1967) and the Jefferson County Future Land Use Plan - Mountain Area (1972) designate a total maximum population for the lands included within the proposed PD district of 22191 or, translated to dwelling units, 6849 units.

However, Johns-Manville agrees to limit the total number of dwelling units within the proposed PD district to a total of 5500 units, or an average density of .60 dwelling units per acre. The residential population at the end of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be 17820.

Prior to the time of final platting, it is difficult to determine the precise mix between dwelling unit types. Therefore, a total of 6,650 dwelling units is indicated on the proposed Official Development Plan. The following table summarizes the land uses, acreages, and dwelling units as shown on the proposed Official Development Plan.

Land Use	Letter Designation	Net Acreage	Total Units
Highlands Residential	SR-2 K/C	850	52
Ranch Residential	SR-1 K/C	454	122
Estate Residential	R-1 K/C	442	759
Detached Residential	R-1B K/C	108	411
Patio Residential	R-2 K/C	374	2442
Condominium Residential	R-3 K/C	98	1464
Apartment Residential	R-4 K/C	55	1400
Neighborhood Commercial	R-C K/C	41	
Regional Commercial	C-1 K/C	88	
Planned Industrial	I-3 K/C	257	
Business Park	I-1 K/C	277	
Recreation and Open Space	C-O K/C	5691	
Schools and Parks		140	
Roads		264	
TOTALS		9139	6650

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 52 parcels, water and sanitation facilities will be furnished respectively by wells and septic taks drilled and constructed in strict compliance with all applicable state and county statues, ordinances, rules, and regulations.

A special district, The Ken-Caryl Ranch Water & Sanitation District, will be organized under Chapter 89 of the Colorado Revised Statues over the lands covered by this application exclusive of the aforesaid Highlands area. Negotiations are under way with the Denver Water Board for the sale and delivery of water by the City and County of Denver to the District. Negotiations are under way with the Southwest Metropolitan Water and Sanitation District for joint use by the District of Southwest's existing outfall sewage lines as well as the construction and joint use of new sewage outfall lines to the treatment facilities of the City of Littleton. Negotiations are under way with the City of Littleton for the treatment of such sewage.

Financial consultants have been retained for assistance with respect to issuance of general obligation bonds of the District to finance the construction of the major water transmission lines, storage reservoirs and outfail sewer lines. The local distribution system and sewage collection system will be installed by the developer to District for operation and maintenance.

The District's Service Plan, prepared pursuant to Chapter 89, will cover the same area as the District. Final ruling on the Service Plan by the Board of County Commissioners is expected prior to action by the Board on the within application. Formation of The Ken-Caryl Ranch Water & Sanitation District will be completed after the Board of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization.

Johns-Manville will organize a non-profit corporation or unincorporated association (the "Master Association") for general ownership and administration of the recreation, open space and common areas. As various parts of the Ranch are platted such areas, other than those which are then dedicated to governmental bodies or to be conveyed for private ownership, which are included within each respective plat will be conveyed to the Master Association.

b. Membership.

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will run with ownership of the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority.

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general welfare and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operate, and to sell, lease, and dedicate lands for all variety of recreational uses consistent with the zoning application to such lands. The Master Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon the members to cover its expenses of operation. The Master Association shall also have authority to levy assessments against specific local areas to be expended for the benefit of the properties so assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement of restrictive covenants application to the Ken-Caryl Ranch.

d. Rules.

The Master Association members will meet annually for the election of directors, who in turn will elect the officers. The officers and directors of the Master Association will meet as regularly as necessary for orderly operation and administration. The Master Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

e. Architectural and Environmental Control Committee.

An Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will be appointed by the board of directors. Its primary function will be to insure that all development is in full compliance with this Planned Development District Zoning Ordinance, applicable restrictive covenants, and such rules and regulations as may be adopted from time to time by the Architectural Committee.

2. Sub-Associations

a. Organization.

Johns-Manville will organize non-profit corporations or unincorporated assocations (hereinafter the "Sub-Associations") for localized areas within the Ken-Caxyl Ranch to further the specific needs, desires and interests of the owners and occupants of such localized areas.

b. Membership.

Membership in the Sub-Associations will be mandatory upon all landowners within the affected areas and will run with the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority.

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of each Sub-Association will be to own, operate and administer the recreation, open space and common areas within its specific area for the general welfare and enjoyment of the owners and occupants thereof. In implementation of this primary purpose, each Sub-Association will have the power to own and operate and to sell, lease and dedicate lands for all variety of recreational uses consistent with the zoning applicable to such lands. Each Sub-Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon its members to cover its expenses of operation. All assessments shall constitute liens which may be foreclosed if not paid when due. The Sub-Associations may delegate to the Master Association, with its approval, the right to collect such assessments. The duties of each Sub-Association may also include enforcement of restrictive covenants applicable to its specific area.

d. Rules.

Each Sub-Association will meet annually for election of its directors, who in turn will elect the officers. The officers and directors will meet as regularly as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

E. Schools

In discussions with the Jefferson County R-1 School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning areas will require a total of five elementary schools, one junior high school, and one senior high school.

These school sites are tentatively located on the proposed Official Development Plan included with this filing. Prior to the time of filing for final plat approval any plat upon which will be located a school site, the site will be mutually agreed upon as to exact location between the developer and the District, and the developer will reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

Elementary School	17 acres
Junior High School	20 acres
Senior High School	35 acres

F. Access

Interstate-470, as planned by the State Division of Highways, extends through the Ken-Caryl development in a north-south direction generally parallel to the Dakota Hogback. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenue westerly from its existing terminus at South Garrison Street to the property boundary. Off-site right of way has not been acquired for this route. Other access routes shown on the Jefferson County master plan of highways are: South Simms Street southerly to a connection with Chatfield Avenue, Ken-Caryl Road westerly to an interchange with I-470, Kipling southerly to an interchange with I-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this PD application currently lies within two fire districts - Inter-Canyon Fire Protection District and Bancroft Fire Protection District. Additionally, there are approximately 840 acres which are not currently within either of these two districts. It is the intent of the developer to cooperate with both Inter-Canyon and Bancroft in an attempt to establish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural open areas, designated as C-O K/C, which areas serve as fire safety zones.

To minimize fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadsides in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

H. Easements

At the time of filing any plat for final approval, the developer shall designate such easements as are necessary for public and private utility purposes, roads, state highways, pedestrian ways, hiking, bicycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topsoil, revegetation, reforestation and blending of areas scarred by construction activity.

K. Building Codes

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Building Codes then in effect.

L. Keeping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL ZONING REGULATIONS

A. Signs

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set forth by the Committee or any "For Sale" or "For Lease" signs not more than three feet by two feet (3' x 2'), of plain white with black block letters.

Normal traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee approval.

B. Fences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and walks will be constructed by the developer and indicated on each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

C. Trash Disposal

Storing of refuse will be permitted only in enclosed containers, which containers shall be screened from public view. Removal of refuse will be handled by one or more of the companies currently or hereafter franchised by the Colorado Public Utilities Commission to serve this area.

D. Heliports

No landing and take-off of helicopters or other similar aircraft shall be allowed on private or common property except at a specified location(s) and facility(ies) within the R-C K/C, C-1 K/C, I-3 K/C and I-1 K/C districts. If provided, such facility shall be subject to the approval of the Architectural Committee and the applicable county, state and federal regulatory agencies.

E. Utilities

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor bicycles, snowmibles, or other similar recreation vehicles shall not be permitted in the Planned Development District, except within an enclosed garage or shed, or at such designated, visually protected locations as specified by the developer at the time of filing any plat for final approval.

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings set forth in Section 29, Definitions, of the Jefferson County Zoning Resolution.

The term "Flag Lot" shall mean a lot shaped like a bulb and stem or a flag and flagpole, wherein the stem or pole portion of the lot fronts upon a public or private street. The minimum frontage upon a public or private street shall be twenty (20) feet. The front yard shall begin at, and the setback line shall be measured from, the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must be erected.

"Home Occupations" shall be all such as are approved by the Architectural Committee, and the definition thereof in Section 29 of the Jefferson County Zoning Resolutions shall not apply.

H. Actual Location Determines Applicable Zoning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive zone, the regulations which shall apply to such building, structure or use shall nevertheless be those which are applicable to the zone district in which in fact such building or structure is built or such use is made.

V. SUBDIVISION STANDARDS

A. Street Classifications

1. The streets shown on the Official Development Plan are designated as follows:

Right-Of-Way	Minimum Travelled Width
100 feet	6 Lane - Divided
100 feet	4 Lane - Divided
80 feet	4 Lane - Undivided
50 feet	2 Lane - Undivided

2. After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 6 Lane Divided, 4 Lane Divided, and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards. 2 Lane Undivided roads will be improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications, cul-de-sac design standards, drainage, radii, etc. shall conform to Jefferson County subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C zones.

D. I-470 Right-of-Way

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

VI. PLAN AMENDMENT

Prior to submission to the Board of Adjustment of any matter governed or meant to be governed within the Ken-Caryl Ranch Planned Development District, such matters shall first be reviewed and approved by the Architectural Committee.

VII. GENERAL RESTRICTION

All restrictions and conditions of this Plan shall conform to the Jefferson County Zoning Resolution, Subdivision Regulations, engineering specifications and all other applicable county requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Ken-Caryl Ranch Planned Development District shall be subject to the filing from time to time of approved incremental subdivision plats and to the recording of an approved Official Development Plan.

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 4 OF 10

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VIII. ZONING RESOLUTION -
LAND USE CLASSIFICATIONS AND RESTRICTIONS

A. Highlands Residential (SR-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. One-family dwelling, detached, and accessory outbuildings, including guest-houses and stables.
2. Church or parish house.
3. Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or mentally disturbed adults or children), preschools and day nurseries for infants and children.
4. Public and private libraries; public and private museums; community facilities.
5. Public parks,playgrounds, and other public or private recreational uses.
6. Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
7. Telephone exchanges; electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
8. Water supply reservoirs, wells, water towers, filter beds, and irrigation canals.
9. Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
   a. Home occupations;
   b. Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
   c. Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

1. No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than two (2) acres. The minimum width of such lot area shall be one hundred twenty-five (125) feet measured along a public street or at the setback line from such public street, whichever is greater ; provided however, in the case of flag lots a minimum width of twenty (20) feet on the stem or pole will be allowed.
2. Building Envelope: In addition to setback requirements, each lot within the Highlands Residential zone will contain a designated building envelope within which the dwelling and accessory buildings must be placed, unless the prior written approval of the Architectural Committee for the erection of all or a part of such dwellings and outbuildings outside of the building envelope has been obtained.
   a. Front Yard - Minimum depth of front yard to building envelope shall be thirty (30) feet.
   b. Side Yard - Minimum width of side yard to building envelope shall be twenty (20) feet.
   c. Rear Yard - Minimum depth of rear yard to building envelope shall be fifty (50) feet.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

Livestock

One horse may be kept on each lot of a minimum size of two acres, and one additional horse may be kept for each additional one acre, up to a maximum of four horses.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Highlands Residential (SR-2 K/C)

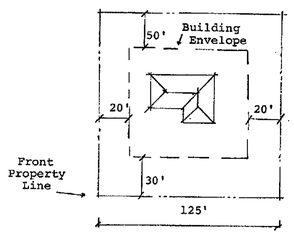
S.F.: 87,120 (2 acres) minimum

2. BUILDING:	Min. S.F.	1000	Max. S.F.	15,000
3. PARKING	Min. S.F.	400	Max. S.F.	1,500
Open	Min. S.F.	0	% of Total	0
Enclosed	Min. S.F.	400	% of Total	100
Underground	Min. S.F.	0	% of Total	0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concept:	Detached dwellings
Bldg. Type Related to Land Use:	Single family residential
Structural Design:	Wood or metal frame, block or brick
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Natural
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Residential subdivision
Street Width & Parking:	Local Road (50' R.O.W.)
Circulation:	Public and/or Private streets

DEVELOPMENT STANDARDS	Highlands Residential (SR-2 K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	2 acres (minimum)
B. Front Yard	30'
C. Side Yard	20'
D. Rear Yard	50'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN
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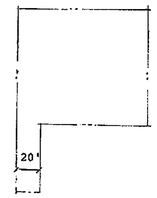

FLAG LOT DESCRIPTION
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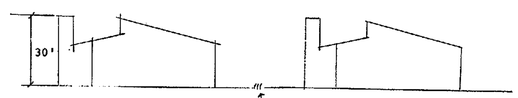


ELEVATION
(no scale)

B. Ranch Residential (SR-1 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Any use permitted in the Highlands Residential (SR-2 K/C) District.

Height Regulations

1. No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than one (1) acre. The minimum width of such lot area shall be one hundred twenty-five (125) feet for each dwelling or other main building where width of lot in all cases is measured along a public street or at setback line from such public street, whichever is greater; provided however, in the case of flag lots a minimum width of twenty (20) feet on the stem or pole will be allowed.
2. Building Envelope: In addition to setback requirements, each lot within the Ranch Residential zone will contain a designated building envelope within which the dwelling and accessory buildings must be placed, unless the prior written approval of the Architectural Committee for the erection of all or a part of such dwellings and outbuildings outside of the building envelope has been obtained.
   a. Front Yard - Minimum depth of front yard to building envelope shall be thirty (30) feet.
   b. Side Yard - Minimum width of side yard to building envelope shall be twenty (20) feet.
   c Rear Yard - Minimum depth of rear yard to building envelope shall be thirty (30) feet.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

Livestock

One horse may be kept on each lot of a minimum size of two acres, and one additional horse may be kept for each additional one acre, up to a maximum of four horses.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Ranch Residential (SR-1 K/C)

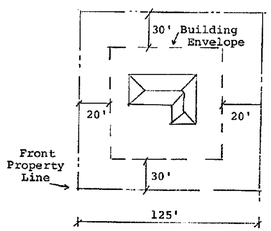
S.F.: 43,560 (1 acre) minimum

2. BUILDING:	Min. S.F.	1000	Max. S.F.	12,000
3. PARKING	Min. S.F.	400	Max. S.F.	1,500
Open	Min. S.F.	0	% of Total	0
Enclosed	Min. S.F.	400	% of Total	100
Underground	Min. S.F.	0	% of Total	0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concept:	Detached dwellings
Bldg. Type Related to Land Use:	Single family residential
Structural Design:	Wood or metal frame, block or brick
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Natural
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Residential subdivision
Street Width & Parking:	Local Road (50' R.O.W.)
Circulation:	Public streets

DEVELOPMENT STANDARDS	Ranch Residential (SR-1 K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	1 acre (minimum)
B. Front Yard	30'
C. Side Yard	20'
D. Rear Yard	30'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN
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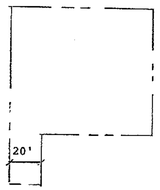

FLAG LOT DESCRIPTION
(no scale)

ELEVATION
(no scale)

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

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C. Estate Residential (R-1 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. One-family dwelling, detached.
2. Church or parish house.
3. Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or mentally disturbed adults or children), preschools and day nurseries for infants and children.
4. Public and private libraries; public and private museums; community facilities.
5. Public parks, playgrounds, and other public or private recreational uses.
6. Governmental buildings; fire stations, but not including warehouses or storage or repair facilities.
7. Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
8. Water supply reservoirs, wells, water towers, and filter beds.
9. Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
   a. Home occupations;
   b. Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
   c. Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

1. No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than twelve thousand five hundred (12,500) square feet. The minimum width of such lot area shall be one hundred (100) feet measured along a public street or at the setback line from such public street, whichever is greater.
2. Front Yard: The minimum depth of front yard for dwellings and other main buildings shall be twenty (20) feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be thirty (30) feet when the front yard is adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan. The minimum depth of front yard for lots that front exclusively on the bulb of a cul-de-sac shall be ten (10) feet.

   In all cases where the front yard setback is proposed to be less than 16.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.
3. Side Yard: The minimum width of side yard for any building shall be ten (10) feet on each side. The minimum width of side yard adjacent to a local or collector street shall be twenty (20) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet.
4. Rear Yard: The minimum depth of rear yard shall be twenty (20) feet.

Parking Requirements.

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

KEN-CARYL RANCH

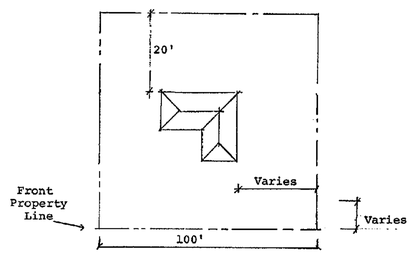
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Estate Residential (R-1 K/C)

   S.F.: 12,500 minimum

2. BUILDING: Min. S.F. 1000 Max. S.F. 11,000
3. PARKING Min. S.F. 400 Max. S.F. 1,500
   - Open Min. S.F. 0 % of Total 0
   - Enclosed Min. S.F. 400 % of Total 100
   - Underground Min. S.F. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   - A. Site Plan Concept: Detached dwellings
     - Bldg. Type Related to Land Use: Single family residential
     - Structural Design: Wood or metal frame, block or brick
   - B. Site Drainage Concept: Surface drainage
     - Landscape Concept: Mixture of natural materials and grass, trees and shrubs
     - Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   - C. Site Planning Concept: Residential subdivision
     - Street Width & Parking: Local road (50' R.O.W.)
     - Circulation: Public streets

DEVELOPMENT STANDARDS	Estate Residential (R-1 K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	12,500 s.f. (minimum)
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	20'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN

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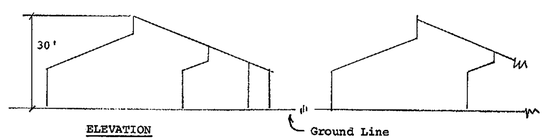


ELEVATION

(no scale)

D. Detached Residential (R-1B K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Any use permitted in the Estate Residential (R-1 K/C) District.

Height Regulations

1. No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than seven thousand two hundred (7,200) square feet. The minimum width for such lot shall be sixty (60) feet measured along a public street or at the setback line from such public street, whichever is greater.
2. Front Yard: The distance from the front property line to the dwelling shall not be less than twenty (20) feet. The distance from the front property line to the garage shall not be less than ten (10) feet.

   In all cases where the front yard setback is proposed to be less than 16.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.
3. Side Yard: The minimum width of side yard adjacent to a local or collector street shall be fifteen (15) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet. There shall be at least ten (10) feet between adjacent structures, and a minimum of three (3) feet to the property line, except:
   a. A garage attached to the dwelling unit may come within six (6) feet of a garage on an adjacent lot.
   b. A garage detached a minimum of eight (8) feet from the dwelling unit may abut a detached garage on an adjacent lot. An open trellis or beams will be allowed to tie a garage to a dwelling unit.
4. Rear Yard: The minimum depth of rear yard shall be fifteen (15) feet from the rear of the main building and no secondary structure shall be built closer than five (5) feet from the rear lot line.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

KEN-CARYL RANCH

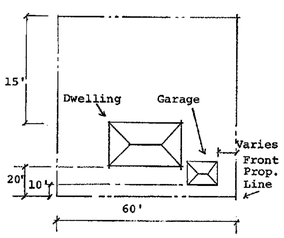
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Detached Residential (R-1B K/C)

   S.F.: 7,200 minimum

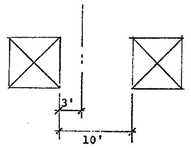
2. BUILDING: Min. S.F. 800 Max. S.F. 6,000
3. PARKING Min. S.F. 400 Max. S.F. 1,500
   - Open Min. S.F. 0 % of Total 0
   - Enclosed Min. S.F. 400 % of Total 100
   - Underground Min. S.F. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   - A. Site Plan Concept: Detached dwellings
     - Bldg. Type Related to Land Use: Single family residential
     - Structural Design: Wood or metal frame, block or brick
   - B. Site Drainage Concept: Surface drainage
     - Landscape Concept: Grass, trees and shrubs
     - Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   - C. Site Planning Concept: Residential subdivision
     - Street Width & Parking: Local road (50' R.O.W.)
     - Circulation: Public streets

DEVELOPMENT STANDARDS	Detached Residential (R-1B K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	7,200 s.f. (minimum)
B. Front Yard	20' to the dwelling 10' to the garage
C. Side Yard	Varies
D. Rear Yard	15'
3) Parking Regulations	2 cars (enclosed) minimum



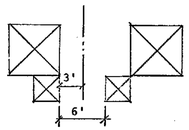
SITE PLAN

(no scale)



SIDE YARD DESCRIPTION BETWEEN STRUCTURES

(no scale)



SIDE YARD DESCRIPTION BETWEEN ATTACHED GARAGES

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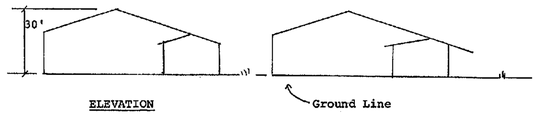

ELEVATION

(no scale)

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

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E. Patio Residential (R-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Any use permitted in the Detached Residential (R-1B K/C) District.

2. One-family dwellings, attached to any other one-family dwelling.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: The minimum lot area for each dwelling shall not be less than four thousand (4,000) square feet. The minimum width of such lot shall be fifty (50) feet, measured along a street or at the setback line from such street, whichever is greater.

2. Front Yard: The distance from the front property line to the dwelling shall not be less than ten (10) feet. The distance from the front property line to the garage shall not be less than ten (10) feet.

   In all cases where the front yard setback is proposed to be less than 16.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.

3. Side Yard: There shall be provided a minimum of three (3) feet to the property line and a minimum total of ten (10) feet of side yard setback between adjacent dwellings, all of which, however, may be provided on one side where the dwellings on two adjacent lots are built with a common wall. The minimum width of side yard adjacent to a local or collector street shall be twenty (20) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet.

4. Rear Yard: A minimum dimension of fifteen (15) feet will be maintained from the rear lot line for all structures.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Patio Residential (R-2 K/C)

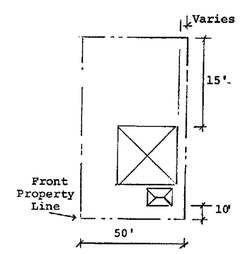
   S.F.: 4,000 minimum

2. BUILDING:	Min. S.F.	800	Max. S.F.	3,900
3. PARKING	Min. S.F.	400	Max. S.F.	600
Open	Min. S.F.	0	% of Total	0
Enclosed	Min. S.F.	400	% of Total	100
Underground	Min. S.F.	0	% of Total	0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concept:	Attached & detached dwellings
Bldg. Type Related to Land Use:	Single family residential
Structural Design:	Wood or metal frame, block or brick
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Grass, trees and shrubs
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Residential subdivision
Street Width & Parking:	Local road (50' R.O.W.)
Circulation:	Public streets

DEVELOPMENT STANDARDS	Patio Residential (R-2 K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	4,000 s.f. (minimum)
B. Front Yard	10'
C. Side Yard	Varies
D. Rear Yard	15'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN
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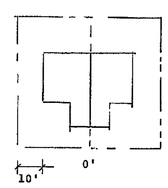
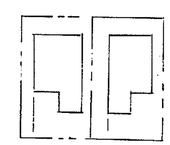
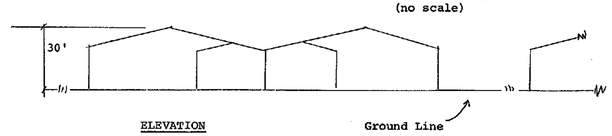


When structures are adjacent



When structures are not adjacent

SIDE YARD DESCRIPTION
(no scale)



ELEVATION
(no scale)

F. Condominium Residential (R-3 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Any use permitted in the Patio Residential (R-2 K/C) District.

2. Multiple-family dwelling.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area: The overall density is based on an average density of 15 dwelling units per acre. However, a minimum site area for each dwelling in a multiple-family dwelling shall not be less than four hundred fifty (450) square feet.

2. Front Yard: The minimum depth of front yard for dwellings and other main buildings shall be ten (10) feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be twenty (20) feet when the front yard is adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan. The minimum depth of front yard for lots that front exclusively on the bulb of a cul-de-sac shall be ten (10) feet.

   No part of the front yard established by the required setback may be used for off-street parking. Accessory buildings shall have the same minimum front yard as the dwelling or other main buildings to which they are accessory.

3. Side Yard: No minimum side yard shall be required when one of the following conditions prevails:

   a. Structures which abut upon a plaza, park, mall or other permanent open green space may abut the common property line and have openings onto such appurtenances.

   b. Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also has no openings on its abutting side.

   c. An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting surfaces.

   If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten (10) feet which may be either on the same lot or on two adjacent lots.

4. Rear Yard: No minimum dept of rear yard shall be required.

Parking Requirements

On-site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) per dwelling unit.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Condominium Residential (R-3 K/C)

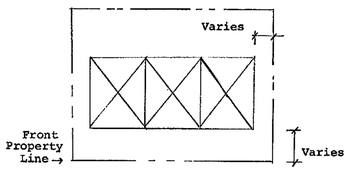
   S.F.: Average density of 15 units per acre

2. BUILDING:	Min. S.F.	450/unit	Max. S.F.	10,000/Bldg.
3. PARKING	Min. S.F.	400/unit	Max. S.F.	2,500/Bldg.
Open	Min. S.F.	0	% of Total	0
Covered	Min. S.F.	400	% of Total	100
Underground	Min. S.F.	0	% of Total	0

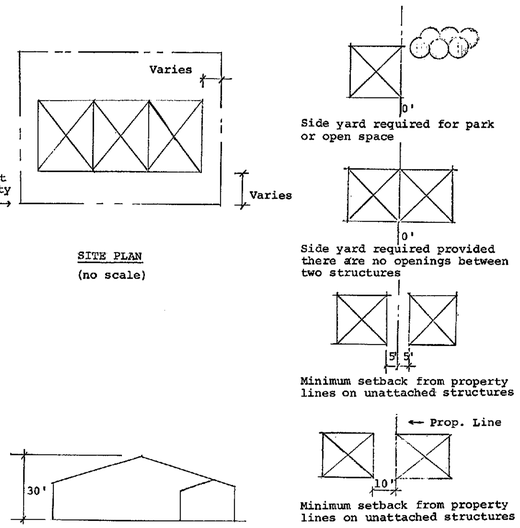
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concept:	Dwelling unit clusters
Bldg. Type Related to Land Use:	Single & Multiple family residential
Structural Design:	Primarily wood, masonry, concrete, or steel
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Grass, trees and shrubs
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Individual fee and/or undivided ownership
Street Width & Parking:	Local street (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80' - 100')
Circulation:	Public streets

DEVELOPMENT STANDARDS	Condominium Residential (R-3 K/C)
1) Height Limit	30' Maximum
2) Area Regulations	
A. Site Area	450 s.f./dwelling, average of 15 du/ac.
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	2 parking spaces per unit



SITE PLAN
(no scale)



ELEVATION
(no scale)

SIDE YARD DESCRIPTION
(no scale)

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 7 OF 10

G. Apartment Residential (R-4 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Multiple-family dwelling.
2. Private garage or parking facilities.
3. Church or parish house.
4. Schools, pre-schools and day nurseries.
5. Public and private libraries; public and private museums; community facilities.
6. Public parks, playgrounds and other public or private recreational uses.
7. Nursing homes and clinics, but not including institutions exclusively for the mentally disturbed or mental defectives, or for contagious or infectious diseases.
8. Commercial service activities which are accessory to the main use of the building such as cafeterias, offices, studios, and personal services such as beauty parlors, barber shops, laundry pick-up stations and pharmacies, may be conducted provided said use is contained within the main building. However, the sum total of commercial uses may not exceed more than 10% of the floor area of any single building or structure. The entrance to any such accessory business will be from inside the building. Such accessory use is one which:
   a. is subordinate to and serves the principal building or principal use; and
   b. is subordinate in area, extent, and purpose to the principal building or principal use served; and
   c. contributes to the comfort, convenience or necessity of occupants of the principal building or principal use served; and
   d. is located on the same lot as the principal building or principal use served.
9. Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
10. Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained, providing such facility is screened from public view to a height of six (6) feet.
11. Water supply reservoirs, wells, water towers and filter beds.
12. Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
   a. Home occupations;
   b. Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
   c. Temporary buildings and uses incidential or necessary for the sale or rental of real property.

Height Regulations

1. None.

Area Regulations

1. Area and Minimum Width of Lot: For every main building hereafter erected or structurally altered, there shall be provided a minimum lot area of one-half (1/2) acre. The minimum width of lot shall be eighty-five (85) feet.
2. Front Yard: The minimum depth of front yard for buildings shall be twenty (20) feet. If parking space is to be provided in the front yard setback, it shall be screened from the street by fence, wall or planting. Said fence, wall or planting will conform to the provisions of Section IV.B.
3. Side Yard: No minimum side yard shall be required when one of the following conditions prevails:
   a. Structures which abut upon a plaza, park, mall or other permanent open green space may abut the common property line and have openings onto such appurtenances.
   b. Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also has no openings on its abutting side.
   c. An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting surfaces.

   If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten (10) feet which may be either on the same lot or on two adjacent lots.
4. Rear Yard: The minimum depth of all rear yards for buildings shall be ten (10) feet. If parking space is to be provided adjacent to an existing street, it shall be screened from the street by fence, wall or planting. Said fence, wall or planting will conform to the provisions of Section V B. below.

Density Regulations

No multi-family dwelling may be constructed or altered with this zone district which contains an average density of more than thirty-five (35) dwelling units per acre.

Percentage of Lot Coverage

A minimum of thirty (30) percent of the lot area shall be retained for open space or private recreation area.

Parking Requirements

A minimum of two (2) off-street parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) shall be provided for each dwelling unit. The open space or private recreation area referred to above may be used in whole or in part for the off-street parking spaces required herein.

KEN-CARYL RANCH

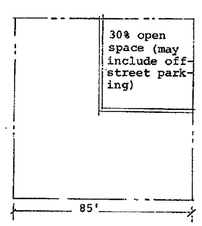
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Apartment Residential (R-4 K/C)

   S.F.: 21,780 (½ acre) minimum

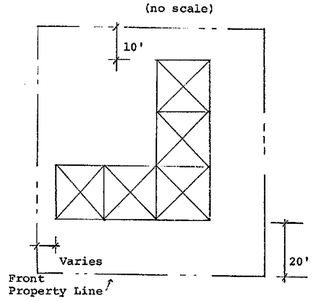
2. BUILDING: Min. S.F. 250/unit Max. S.F. N/A
3. PARKING Min. S.F. 2 off-street spaces/unit Max. S.F. N/A
   Open Min. S.F. 1 off-street space/unit % of Total 50
   Covered / Underground Min. S.F. 1 off-street space/unit % of Total 50
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   A. Site Plan Concept: Attached units with attached, detached, covered or underground parking
      Bldg. Type Related to Land Use: Multiple family residential
      Structural Design: Primarily wood, masonry, concrete, or steel
   B. Site Drainage Concept: Surface drainage
      Landscape Concept: Grass, trees and shrubs
      Building Concept: Mixture of natural materials; block, brick and plaster; earth tones
   C. Site Planning Concept: Multiple cluster residential
      Street Width & Parking: Local street (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80'- 100')
      Circulation: Public streets

DEVELOPMENT STANDARDS	Apartment Residential (R-4 K/C)
1) Height Limit	None
2) Area Regulations	
A. Lot Size	21,780 s.f. (1/2 acre) Minimum
B. Front Yard	20'
C. Side Yard	Varies
D. Rear Yard	10'
3) Parking Regulations	2 - off street parking spaces per unit



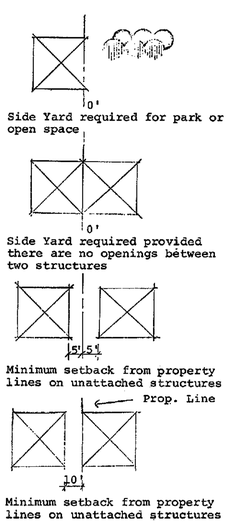
LOT COVERAGE DESCRIPTION

(no scale)



SITE PLAN

(no scale)



SIDE YARD DESCRIPTION

(no scale)

H. Neighborhood Commercial (R-C K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Business and professional offices, medical and dental clinics and enclosed small-animal veterinary hospitals.
2. Post offices and banks.
3. Laboratories, except those which involve any hazardous process or emit noxious noise, dust and odor.
4. Service stablishments, such as cleaning and pressing shops, tailor shops, dressmaking shops, barber shops, beauty parlors, watch and jewelry repairing, pharmacies, and pick-up stations for laundry and/or dry cleaning.
5. Private schools (including private, vocational, trade or professional schools), pre-schools and day nurseries (including those uses commonly accepted as accessory thereto when located on the same premises).
6. Community buildings, Y.M.C.A.s, Y.W.C.A.s, churches, libraries, parks, museums, aquariums and art galleries.
7. Mortuaries.
8. Art, photographic, dance, music, radio and television studios.
9. Parking of automobiles of clients, patients, patrons or customers of the occupants of adjacent commercial districts.
10. Living quarters in a building other than a dwelling.
11. Package liquor stores and outlets and package three point two percent (3.2%) fermented malt beverage stores and outlets; taverns, night clubs, private clubs and bars.
12. Restaurants, delicatessens, catering establishments, cafes and drive-in restaurants, including the sale for consumption on the premises of liquor and three point two percent (3.2%) fermented malt beverage.
13. Signs (illuminated or otherwise) identifying the use or uses on the premises where the sign is located.
14. Newspaper offices and blue printing establishments.
15. Rental agencies, except those for automobiles, campers, trailers, or heavy equipment, provided such agencies are fully enclosed.
16. Car wash, garage and/or motor fuel filling station.
17. Stores for retail trade.
18. Heliports, subject to the provisions of Section IV.D.
19. Special trades contractors, including plumbers, carpenters and electricians.
20. Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
21. Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
22. Water supply reservoirs, wells, water towers, filter beds.
23. Other such similar commercial uses as listed in 1 thru 22 which are not more detrimental to uses in said district than are the uses by right hereinbefore enumerated.

Height Regulations

1. No building shall exceed forty (40) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set out below.
2. Building Setbacks: No outdoor storage of any products or parking will be allowed in the areas reserved for building setbacks. Additionally, the applicable Jefferson County Zoning Resolutions regarding site distance must be followed on all building setbacks.
   a. Front Yard: The minimum front yard for any building shall be ten (10) feet.
   b. Side Yard: If a building is constructed of masonry or fireproof material, no side yard shall be required except when located on a corner lot. If a building is constructed of nonmasonry or nonfireproof materials, there shall be a side yard of not less than five (5) feet on each side. On a corner lot there shall be a side yard of not less than ten (10) feet on the side adjoining the street. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to the street.
   c. Rear Yard: The minimum depth of rear yard shall be five (5) feet.

Building Site Coverage

Maximum building coverage of fifty (50) percent is allowed. Parking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the fifty (50) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolution.

KEN-CARYL RANCH

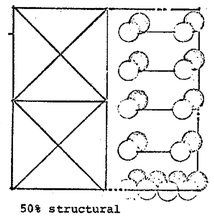
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Neighborhood Commercial (R-C K/C)

   S.F.: (No minimum)

2. BUILDING: Min. S.F. 2,500 Max. S.F. 150,000
3. PARKING Min. S.F. 7,500 Max. S.F. 450,000
   Open Min. S.F. 7,500 % of Total 100
   Covered Min. S.F. 0 % of Total 0
   Underground Min. S.F. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   A. Site Plan Concept: Attached & detached business with common parking
      Bldg. Type Related to Land Use: Multi-tenant buildings
      Structural Design: Primarily masonry, concrete, or steel
   B. Site Drainage Concept: Surface drainage
      Landscape Concept: Building setbacks & parking islands to be mounded & landscaped w/grass, trees, shrubs
      Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   C. Site Planning Concept: Pedestrian oriented cluster shopping & related parking areas
      Street Width & Parking: Local (50'), Collector (60') or Arterials (80' - 100')
      Circulation: Public streets

DEVELOPMENT STANDARDS	Neighborhood Commercial (R-C K/C)
1) Height Limit	40' Maximum
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	10'
C. Side Yard	Varies
D. Rear Yard	5'
3) Parking Regulations	See Sec.21F and 21G of the Jefferson County Zoning Resolution



LOT COVERAGE DESCRIPTION

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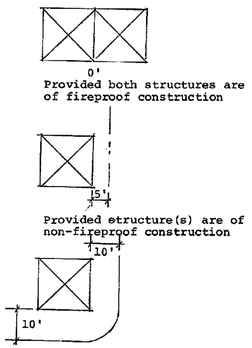
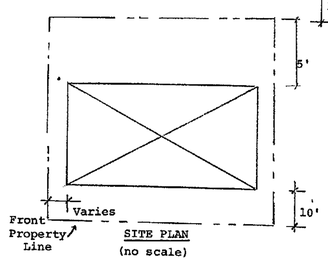


Corner Lot Setbacks

SIDE YARD DESCRIPTION

(no scale)



SITE PLAN

(no scale)

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 8 OF 10

I. Regional Commercial (C-1 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Any use permitted in the Neighborhood Commercial (R-C K/C) District.
2. Stores for retail trade.
3. Lumber yards provided that unhoused storage of lumber and other materials shall be fully enclosed.
4. Travel trailer, trailer, camper and motor vehicle display and sales (but not including auto wrecking yards or storage of metals and/or machinery not in running order).
5. Assembly or convention halls, theatres, skating rinks, dance halls, bowling alleys, pool or billiard parlors, indoor firing ranges, archery ranges, exposition halls (no live animals), tennis courts, swimming pools, golf courses, including putting and miniature courses, golf driving ranges, gymnasiums and trampoline centers, massage parlors, turkish baths and health studios.
6. Rental agencies including those for automobiles, campers, trailers and light equipment. Rental agencies for light equipment must be fully enclosed.
7. Motels, licensed tourist courts and hotels.
8. Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations with public offices.
9. Ambulance services.
10. Lapidary shops, taxidermists.
11. Amusement parks.
12. Veterinary hospital.
13. Shop for custom work or for making articles to be sold at retail on the premises.
14. Wholesale business.
15. Arts and crafts of any kind not heretofore listed and exclusive of industrial operations listed hereafter, where not in excess of five (5) horsepower is employed in the operation of any machine.
16. Community, civic, and governmental buildings, including police and fire stations.
17. Office and professional buildings.
18. Nurseries and conservatories for plants and flowers.
19. Heliports, subject to the provisions of Section IV.D.
20. Other such similar commercial uses as listed in 1 thru 20 which are not more detrimental to uses in said district than are the uses by right hereinbefore enumerated.

Height Regulations

1. None

Area Regulations

1. Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements below.
2. Building Setbacks: No outdoor storage of any products or parking will be allowed in the areas reserved for building setbacks. Additionally, the applicable Jefferson County Zoning Resolutions regarding site distance must be followed on all building setbacks.
   a. Front Yard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
   b. Side Yard: If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of any interior lot or of a side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to the street.
   c. Rear Yard: No minimum depth of rear yard shall be required.

Building Site Coverage

Maximum building coverage of fifty (50) per cent is allowed. Parking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the fifty (50) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolution.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Regional Commercial (C-1 K/C)

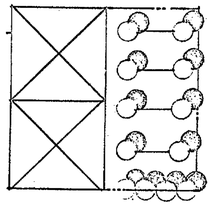
   S.F.: (No minimum)

2. BUILDING: Min. S.F. 10,000 Max. S.F. 1,500,000
3. PARKING Min. S.F. 30,000 Max. S.F. 4,500,000

   Open / Covered / Underground — Min. S.F. 30,000 % of Total 100

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   - A. Site Plan Concept: Attached & detached business with common parking
     - Bldg. Type Related to Land Use: Multi-tenant buildings
     - Structural Design: Primarily masonry, concrete, or steel
   - B. Site Drainage Concept: Surface drainage
     - Landscape Concept: Building setbacks & parking islands to be mounded & landscaped w/grass, trees, shrubs
     - Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   - C. Site Planning Concept: Pedestrian oriented cluster shopping & related parking areas
     - Street Width & Parking: Local (50'), Collector (60') or Arterials (80' - 100')
     - Circulation: Public streets

DEVELOPMENT STANDARDS	Regional Commercial (C-1 K/C)
1) Height Limit	None
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	See Sec.21F and 21G of the Jefferson County Zoning Resolution

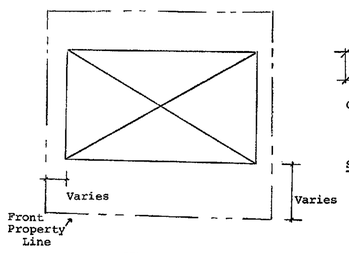


50% structural

50% open space (including parking areas)

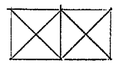
LOT COVERAGE DESCRIPTION

(no scale)



SITE PLAN

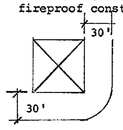
(no scale)



0'

Provided both structures are of fireproof construction

Provided structure(s) are of non-fireproof construction



Corner Lot Setbacks

SIDE YARD DESCRIPTION

(no scale)

J. Planned Industrial (I-3 K/C)

Use Regulations

No building or land shall be used and no building shall hereafter be erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Manufacturing, processing, fabrication or assembly of any commodity provided such uses relate directly to other permitted uses set out below. Assembly uses are limited to light industrial uses only (ie. office machines, computers).
2. Wholesale sales, warehousing or storage of any commodity specifically permitted under the following use regulations, with the following exceptions:
   a. No live animals, commercial explosives or above-ground bulk storage of flammable liquids or gases may be included.
   b. Sales, warehousing or storage of junk, including machinery or vehicles not in operating condition, may be permitted only if contained within a building.
3. Sale at retail of any commodity, manufactured, processed, fabricated or warehoused on the premises.
4. Sale at retail of hardware or equipment, supplies and materials (except commercial explosives) for agriculture, mining, industry, business, transportation, building and other construction.
5. Repair, rental and servicing of any commodity, the manufacture, processing, fabrication, warehousing or sale of which is permitted.
6. Government buildings or uses such as police stations, fire stations, post offices; and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
7. Accessory uses such as banks, laboratories, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two (3.2%) percent fermented malt beverages), blueprinting establishments and offices.
8. Parking of motor vehicles.
9. Terminals for transportation and public transit vehicles (except truck terminals).
10. Motor vehicle service or gasoline filling stations (total number of such facilities not to exceed five (5). The location of each motor vehicle or gasoline filling station must be shown on the final plat map.
11. Research and development facilities and office buildings.
12. Hospitals.
13. Management-seminar complexes.
14. Ambulance services.
15. Heliports, subject to the provisions of Section IV.D.
16. Outdoor advertising devices, subject to the provisions of Section IV.A.
17. Assembly of light industrial products to include, but not to be limited to, assumbly of office machines.
18. The uses hereinabove set forth shall be subject to the following limitations and conditions:
    a. Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
    b. Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
    c. Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, glare, radiation or fumes beyond any boundary line of the lot on which the use is located.
    d. All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
    e. No materials or wastes shall be deposited upon a lot in such form or manner that they may be transferred off the lot by natural causes or forces.

Height Regulations

1. None.

Area Regulations

1. Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set out below.
2. Front Yard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minimum of forty (40) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
3. Side Yard: If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of an interior lot or a side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to a street.
4. Rear Yard: No rear yard setback.

Building Site Coverage

Maximum building coverage of fifty (50) percent is allowed. Parking spaces and/or structures shall not be calculated as building area and shall be allowed in the fifth (50) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolutions.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Planned Industrial (I-3 K/C)

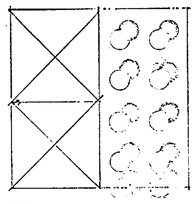
   S.F.: (No minimum)

2. BUILDING: Min. S.F. 5,000 Max. S.F. 5,700,000
3. PARKING Min. S.F. 1 space per 3 employees Max. S.F. N/A

   Open / Covered / Underground — Min. S.F. 1 space per 3 employees % of Total 100

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   - A. Site Plan Concept: Individual sites and building clusters
     - Bldg. Type Related to Land Use: Single & multi-tenant buildings
     - Structural Design: Primarily masonry, concrete, or steel
   - B. Site Drainage Concept: Surface drainage
     - Landscape Concept: Building setbacks and parking islands to be mounded & landscaped w/grass, trees, shrubs
     - Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   - C. Site Planning Concept: Planned industrial and business park subdivision
     - Street Width & Parking: Local (50'), Collector (60') and Arterials (80' - 100' R.O.W.)
     - Circulation: Public streets

DEVELOPMENT STANDARDS	Planned Industrial (I-3 K/C)
1) Height Limit	None
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	See Sec.21F and 21G of the Jefferson County Zoning Resolution

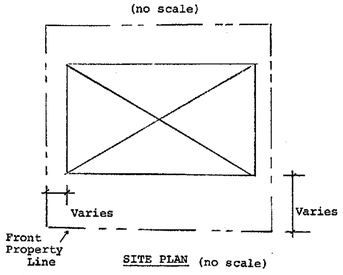


50% structural

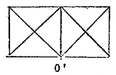
50% open space (including parking areas)

LOT COVERAGE DESCRIPTION

(no scale)

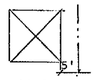


SITE PLAN (no scale)

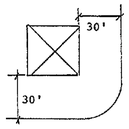


0'

Provided both structures are of fireproof construction



Provided structure(s) are of non-fireproof construction



Corner Lot Setbacks

SIDE YARD DESCRIPTION

(no scale)

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 9 OF 10

K. Business Park (I-1 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Office and professional buildings.
2. Research and development facilities.
3. Management/Seminar complexes.
4. Public, parochial, and private schools, colleges and universities (including those uses commonly accepted as accessory thereto when located on the same premises).
5. Parking of motor vehicles.
6. Hospitals.
7. Heliports, subject to the provisions of Section IV.D of the Planned Development Application.
8. Assembly of light industrial products to include, but not to be limited to, assembly of office machines.
9. Accessory uses such as banks, laboratories, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two (3.2%) percent fermented malt beverages), blueprinting establishments and offices.
10. Government buildings or uses such as police stations, fire stations, post offices; and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
11. Golf courses (including miniature golf or putting ranges and driving ranges, private clubs and restaurants, including the sale for consumption on the premises of liquor and three point two (3.2%) percent fermented malt beverages in connection therewith) and those uses commonly accepted as accessory thereto, when located on the same premises.
12. The uses hereinabove set forth shall be subject to the following limitations and conditions:
    a. Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
    b. Every use shall be so operated that the ground vibration inherently and recurrently generated is not preceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
    c. Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, glare, radiation or fumes beyond any boundary line of the lot on which the use is located.
    d. All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
    e. No materials or wastes shall be deposited upon a lot in such form or manner that they may be transferred off the lot by natural causes or forces.

Height Regulations

1. None

Area Regulations

1. Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set out below.
2. Front Yard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minimum of forty (40) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
3. Side Yard: If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of an interior lot or a side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet.
4. Rear Yard: No rear yard setback.

Building Site Coverage

Maximum building coverage of thirty (30) percent is allowed. Parking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the seventy (70) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolution.

KEN-CARYL RANCH

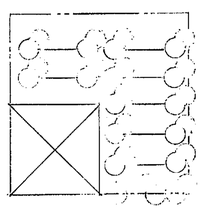
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Business Park (I-1 K/C)

S.F.: (No minimum)

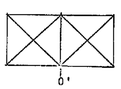
2. BUILDING: Min. S.F. 5,000 Max. S.F. 2,500,000
3. PARKING Min. S.F. 1 space per 3 employees Max. S.F. N/A
   Open / Covered / Underground: Min. S.F. 1 space per 3 employees % of Total 100
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   A. Site Plan Concept: Individual sites and building clusters
      Bldg. Type Related to Land Use: Single & multi-tenant buildings
      Structural Design: Primarily masonry, concrete, or steel
   B. Site Drainage Concept: Surface drainage
      Landscape Concept: Building setbacks & parking islands to be mounded & landscaped w/grass, trees, shrubs
      Building Concept: Mixture of natural materials, block, brick, plaster; earth tones
   C. Site Planning Concept: Planned industrial and business park subdivision
      Street Width & Parking: Local (50' R.O.W.), Collector (60' R.O.W.) and Arterial (80' - 100')
      Circulation: Public streets

DEVELOPMENT STANDARDS	Business Park (I-1 K/C)
1) Height Limit	None
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	See Sec.21F and 21G of the Jefferson County Zoning Resolution



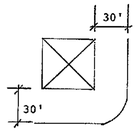
30% structure coverage — 70% open space (including parking areas)

LOT COVERAGE DESCRIPTION (no scale)



Provided both structures are of fireproof construction

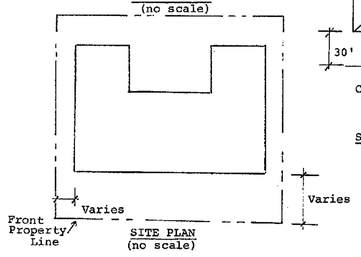
Provided structure(s) are of non-fireproof construction



Corner Lot Setbacks

SIDE YARD DESCRIPTION

(no scale)



SITE PLAN (no scale)

L. Recreation and Open Space (C-O K/C)

Use Regulations

1. Agricultural uses limited to the grazing and keeping of livestock, growing of hay, grains, grasses, trees, shrubs, and truck gardens, and accessory uses thereof such as barns, sheds, corrals, etc.
2. Public parks, playgrounds and other public or private recreational uses.
3. Buildings and structures customarily accessory to the permitted uses.
4. Deposit and/or excavation of sand, gravel, rock, earth, minerals and other similar materials under the limitations of and in the manner prescribed in Paragraph 5 of Section 25 of the Jefferson County Zoning Resolutions.
5. Governmental buildings or uses such as police stations, fire stations, post offices; and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations, water wells and cable television antennas and other private and public utility uses.
6. Cemetery.
7. Recreation uses of all types, including but not limited to golf courses, tennis courts, swimming pools, ball fields, camping, hiking, horseback riding, equestrian facilities and bicycle trails, trap-shooting, rifle, pistol and archery ranges, and picnic areas.

Conditional Uses

1. The following uses are permitted subject to such conditions as may be established by the Jefferson County Planning Commission and Board of County Commissioners to preserve the general intent and purpose of this zone.
   a. Sanitary land fill, provided such fill does not create a water diversion hazard which would endanger adjacent areas, and further provided that such sanitary land fill would not create any undesirable odors or any unsightly areas to adjacent properties and/or buildings.
   b. Campground for mounted camper units, camp trailers and motor homes. This provision shall apply only for campground areas for tourists, campers, hunters, fishermen, mountain climbers and other such individuals involved in similar temporary transient activity. Plans of such areas must be registered with and approved by both the Jefferson County Health Department and the Jefferson County Planning Department and be subject to all sanitary requirements of the Health Department on a continuing basis. This provision shall not be construed to permit mobile homes or trailers.

Height Regulations

1. No structure shall exceed thirty-five (35) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

1. Front Yard: The front yard building setback line shall be a minimum of one hundred (100) feet from any existing or proposed street or road right-of-way line.
2. Side Yard: There shall be a minimum side yard of fifty (50) feet between any building or structure and the nearest property line.
3. Rear Yard: There shall be a minimum rear yard of fifty (50) feet as measured from the rear property line to the nearest building or structure.
4. Stream Setback: No building, structure or camper unit intended for overnight living quarters shall be permitted to be constructed or placed within the flood plain of any stream as determined by the highwater line of a twenty-five (25) year flood. The term "stream" shall be construed to include channel, marsh lands, swamp, or any other area subject to inundation.

KEN-CARYL RANCH

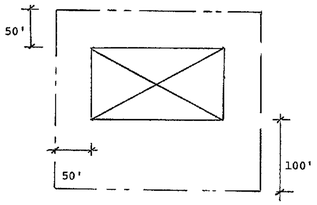
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Recreation and Open Space (C-O K/C)

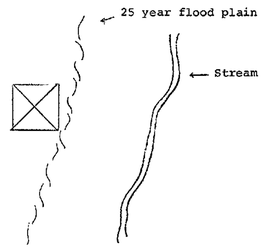
S.F.: No minimum

2. BUILDING: Min. S.F. 100 Max. S.F. N/A
3. PARKING Min. S.F. 0 Max. S.F. N/A
   Open: Min. S.F. 0 % of Total 0
   Covered: Min. S.F. 0 % of Total 0
   Underground: Min. S.F. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:
   A. Site Plan Concept: Recreation building
      Bldg. Type Related to Land Use: Single & Multi-purpose building
      Structural Design: Wood or metal frame, masonry, block, brick or concrete
   B. Site Drainage Concept: Surface drainage
      Landscape Concept: Natural
      Building Concept: Mixture of natural materials, block, brick and plaster; earth tones
   C. Site Planning Concept: Cluster
      Street Width & Parking: Local (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80' - 100')
      Circulation: Public and/or private streets

DEVELOPMENT STANDARDS	Recreation and Open Space (C-O K/C)
1) Height Limit	35' Maximum
2) Area Regulations	
A. Lot Size	No minimum
B. Front Yard	100'
C. Side Yard	50'
D. Rear Yard	50'
3) Parking Regulations	None



SITE PLAN (no scale)



STREAM SETBACK DESCRIPTION

(no scale)

THE KEN-CARYL RANCH

JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 | SHEET 10 OF 10

BOOK _____ PAGE _____
MAP NO. _____

79-140

79-140 1/1

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT
AMENDED OFFICIAL DEVELOPMENT PLAN

All the provisions of The Ken Caryl Ranch Official Development Plan, recorded March 13, 1973, in ODP Book 3, pages 1 through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended by the North "Plains" ODP Amendment I. With respect to the lands described in this North "Plains" ODP Amendment I, the Official Development Plan of The Ken-Caryl Ranch is amended as follows

1) "8 Area Regulations" is amended to read as follows "8 Minimum depth of lot Where the rear of a lot is adjacent to a shopping center, industrial tract, or other similar non-residential use, to the right-of-way of a railroad, or to a freeway, expressway or major arterial, the depth of lot shall be a minimum of one hundred thirty feet (130') this depth shall be developed through a combination of lot depth and a twenty feet (20') minimum landscape strip The Jefferson County Planning Department shall have the authority to review and approve the landscape plan as a part of the final plat process "

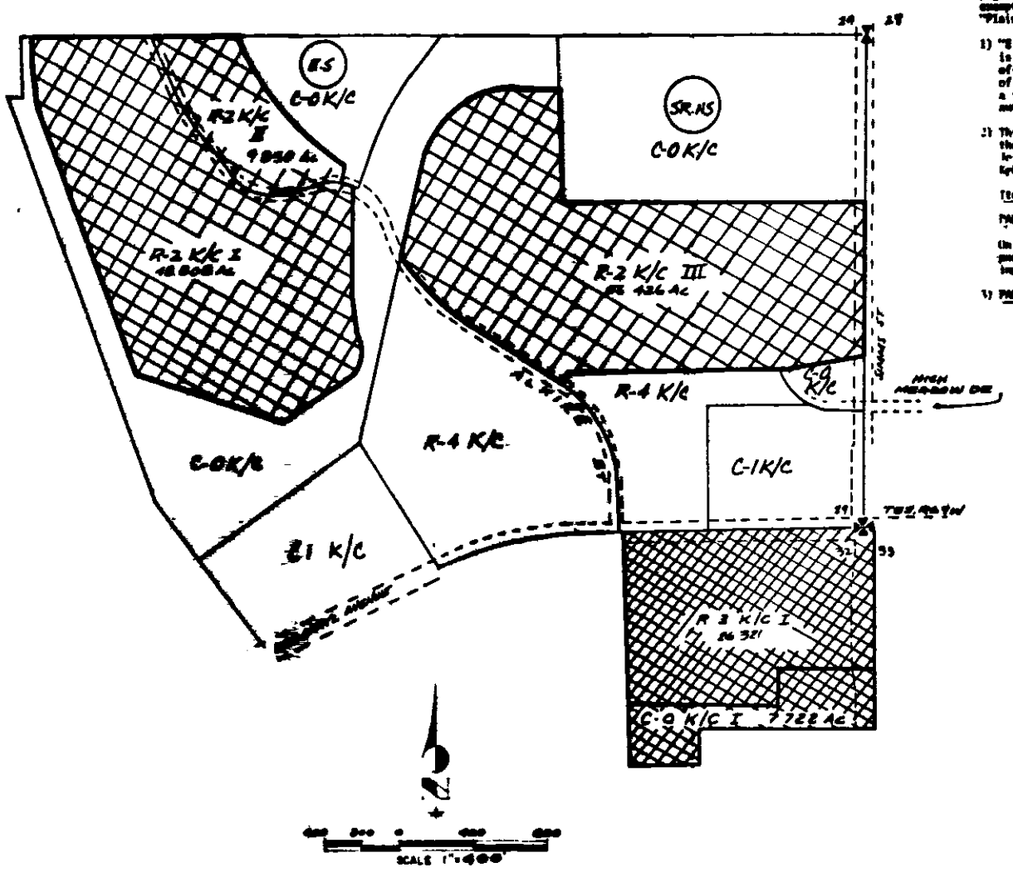
2) This Amendment applies to those areas identified as R 3 Ken-Caryl I Condominium Residential and shown on the Ken Caryl Ranch Official Development Plan, Sheet 1 of 10, Recorded March 13, 1973, at the office of the Jefferson County Clerk and Recorders Office, ODP Book 3, Page 1, and as Amendment on sheet "A of 10 of the Ken Caryl Ranch ODP, on the 11th day of December 1975 (Reception No 750707)

Item 3 (Parking) Under Ken Caryl Ranch Planned Development District, is amended to read as follows

PARKING REQUIREMENTS

On site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) per building unit

3) PARKING: Min S F 400/unit Max S F 2500/Bldg



TABULATION OF PLANNED DEVELOPMENTS

Description Code	Letter Designation	Land Use	Gross Acreage	Total Units
R-2 K/C I II III	R-2 K/C	Patio Residential	115.084	600
R-3 K/C I	R-3 K/C	Condominium Residential	26.321	270
C-O K/C I	C-O K/C	Recreational Open Space	7.722	———

R-2 K/C I

A PORTION OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 29; THENCE S89°53'59"W AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 3817.31 FEET TO THE TRUE POINT OF BEGINNING; THENCE S24°1[illegible]"W, A DISTANCE OF 340.[illegible] FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT, HAVING A DELTA OF 11°40'35", A RADIUS OF 1000.00 FEET, A DISTANCE 203.79 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT, THENCE S35°52'[illegible]", A DISTANCE OF 265.79 FEET TO A POINT OF CURVE, THENCE ON A CURVE TO THE LEFT HAVING A DELTA OF 70°30'26", A RADIUS OF 300.00 FEET, A DISTANCE OF 369.1[illegible] FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT THENCE N73°36'38"E, A DISTANCE OF 186.4[illegible] FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 33°44'51", A RADIUS OF 300.00 FEET, A DISTANCE OF 208.12 FEET MEASURED ALONG THE ARC TO A POINT ON CURVE THENCE S23°21'27"W, A DISTANCE OF 30.00 FEET; THENCE S02°82'55"W, A DISTANCE OF 424.03 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT HAVING A DELTA OF 12°30'28", A RADIUS OF 1000.00 FEET, A DISTANCE OF 218.30 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT THENCE S.0°13'33"E, A DISTANCE OF 185.09 FEET TO A POINT OF CURVE, THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 06°52'30", A RADIUS OF 250.00 FEET, A DISTANCE OF 291.80 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S56°34'57"W, A DISTANCE OF 359.67 FEET; THENCE N71°33'54"W, A DISTANCE OF 819.03 FEET; THENCE N19°49'07"W, A DISTANCE OF 1507.49 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 20°57'28", A RADIUS OF 700.00 FEET, A DISTANCE OF 256.05 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N01°09'21"E, A DISTANCE OF 136.75 FEET TO A POINT ON THE EAST-WEST CENTER LINE OF SAID SECTION 29; THENCE N89°53'59"E AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 644.87 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 40.[illegible] ACRES.

R-2 K/C II

A PORTION OF LAND IN THE SOUTH ONE-HALF OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 29; THENCE S89°53'59"W AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 3363.57 FEET TO THE TRUE POINT OF BEGINNING; THENCE S27°06'29"E, A DISTANCE OF 211.3[illegible] FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE LEFT HAVING A DELTA OF 24°44'29", A RADIUS OF 1000.00 FEET, A DISTANCE OF 431.82 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S51°50'58"E, A DISTANCE OF 254.00 FEET; THENCE S57°[illegible]'31"W, A DISTANCE OF 7[illegible] FEET THENCE S07°04'54"W, A DISTANCE OF 33.00 FEET TO A POINT OF CURVE THENCE ON A CURVE TO THE LEFT WHOSE CENTER BEARS S09°04'[illegible]"W, HAVING A DELTA OF 25°28'16", A RADIUS OF 300.00 FEET, A DISTANCE OF 133.37 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S77°36'38"W, A DISTANCE OF 146.95 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 70°30'26", A RADIUS OF 3[illegible] FEET, A DISTANCE OF 369.17 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT THENCE N23°52'56"W, A DISTANCE OF 265.79 FEET TO A POINT OF CURVE, THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 11°[illegible] A RADIUS OF 1000.00 FEET, A DISTANCE OF 203.79 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N24°13'21"W, A DISTANCE OF [illegible] FEET TO A POINT ON THE EAST-WEST CENTER LINE OF SAID SECTION [illegible] THENCE AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION [illegible] A DISTANCE OF 463.[illegible] FEET TO THE TRUE POINT OF BEGINNING, CONTAINING [illegible] ACRES

R-2 K/C III

A PORTION OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 29, THENCE N13°13'46"E AND ALONG THE EAST LINE OF SAID SECTION 29 A DISTANCE OF 637.63 FEET TO THE TRUE POINT OF BEGINNING, THENCE N89°46'14"W A DISTANCE OF 50.00 FEET; THENCE S81°38'20"W A DISTANCE OF 355.00 FEET; THENCE S89°30'00"W A DISTANCE OF 1198.08 FEET; THENCE S13°23'07"W A DISTANCE OF 72.47 FEET; THENCE N56°36'51"W A DISTANCE OF 623.53 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 29°29'18", A RADIUS OF 1000.00 FEET A DISTANCE OF 51[illegible].[illegible] FEET MEASURED ALONG THE ARC TO A POINT ON CURVE; THENCE N62°48'27"E A DISTANCE OF 33.00 FEET THENCE N15°23'07"E A DISTANCE OF 538.32 FEET TO A POINT OF CURVE, THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 76°02'47", A RADIUS OF 450.00 FEET, A DISTANCE OF 597.27 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S88°38'[illegible]"E A DISTANCE OF 248.8[illegible] FEET, THENCE NORTH 5[illegible] FEET; THENCE N79°53'5[illegible]"E A DISTANCE OF 1738.4[illegible] FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENCE S00°13'46"W ALONG THE EAST LINE OF SAID SECTION 29 A DISTANCE OF 865.01 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 56.426 ACRES

R-3 K/C I

A PORTION OF LAND LOCATED IN THE NORTH ONE-HALF OF SECTION [illegible] AND SECTION 33, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF JEFFERSON, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION [illegible] THENCE S [illegible] AND ALONG THE WEST LINE OF SAID SECTION 33 A DISTANCE OF [illegible] FEET THENCE N89°39'17"E A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, AS RECORDED IN THE JEFFERSON COUNTY RECORDS IN BOOK 52 AT PAGES 33 THROUGH 35, THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, A DISTANCE OF 674.76 FEET TO THE TRUE POINT OF BEGINNING, THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, A DISTANCE OF 246.86 FEET TO THE SOUTHWEST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2 THENCE CONTINUING S00°22'44"E A DISTANCE OF 86.76 FEET THENCE S[illegible]°37'16"W A DISTANCE OF 100.00 FEET; THENCE N89°00'00"W A DISTANCE OF 832.30 FEET, THENCE S01°24'41"E A DISTANCE OF 200.00 FEET, THENCE S88°35'19"W A DISTANCE OF 400.00 FEET, THENCE N01°24'41"W A DISTANCE OF 300.00 FEET; THENCE N88°35'19"E A DISTANCE OF 80.00 FEET; THENCE N01°24'41"W A DISTANCE OF 199.08 FEET, THENCE N89°35'19"E A DISTANCE OF 600.00 FEET; THENCE N89°37'16"E A DISTANCE OF 129.50 FEET TO A POINT ON THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, SAID POINT BEING THE TRUE POINT OF BEGINNING, CONTAINING 7.722 ACRES

C-O K/C I

A PORTION OF LAND LOCATED IN THE NORTH ONE-HALF OF SECTION 33 AND SECTION 34, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION [illegible] THENCE S [illegible] AND ALONG THE WEST LINE OF SAID SECTION 33 A DISTANCE OF [illegible] FEET THENCE N89°39'17"E A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, AS RECORDED IN THE JEFFERSON COUNTY RECORDS IN BOOK 52 AT PAGES 33 THROUGH 35, THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, A DISTANCE OF 674.76 FEET TO THE TRUE POINT OF BEGINNING, THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, A DISTANCE OF 246.86 FEET TO THE SOUTHWEST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2 THENCE CONTINUING S00°22'44"E A DISTANCE OF 86.76 FEET THENCE S[illegible]°37'16"W A DISTANCE OF 100.00 FEET; THENCE N89°00'00"W A DISTANCE OF 832.30 FEET, THENCE S01°24'41"E A DISTANCE OF 200.00 FEET, THENCE S88°35'19"W A DISTANCE OF 400.00 FEET, THENCE N01°24'41"W A DISTANCE OF 300.00 FEET; THENCE N88°35'19"E A DISTANCE OF 80.00 FEET; THENCE N01°24'41"W A DISTANCE OF 199.08 FEET, THENCE N89°35'19"E A DISTANCE OF 600.00 FEET; THENCE N89°37'16"E A DISTANCE OF 129.50 FEET TO A POINT ON THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO 2, SAID POINT BEING THE TRUE POINT OF BEGINNING, CONTAINING 7.722 ACRES

THIS SHEET SUPERSEDES THOSE PORTIONS OF SHEETS WHICH ARE RECORDED IN ODP BOOK 16 AT PAGES 46 AND 47 KNOWN AS THE NORTH PLAINS SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN AS DESCRIBED BY THE ATTACHED LEGALS

THE AMENDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH, NORTH PLAINS SEGMENT AMENDMENT 1, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 9th DAY OF July, 1979.

BOARD OF COUNTY COMMISSIONERS

CHAIRMAN

CLERK

REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 5th DAY OF July, 1979.

CHAIRMAN

SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 12th DAY OF July, 1979

RECEPTION NO. 7906200[illegible]

CLERK AND RECORDER

THE KEN-CARYL RANCH
(NORTH PLAINS SEGMENT)
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

AMENDED
OFFICIAL DEVELOPMENT PLAN

SHEET 1 of 1

PC PRESENTATION

Ken Caryl Ranch North Plains Filing 2

21-136270PF – January 11, 2023

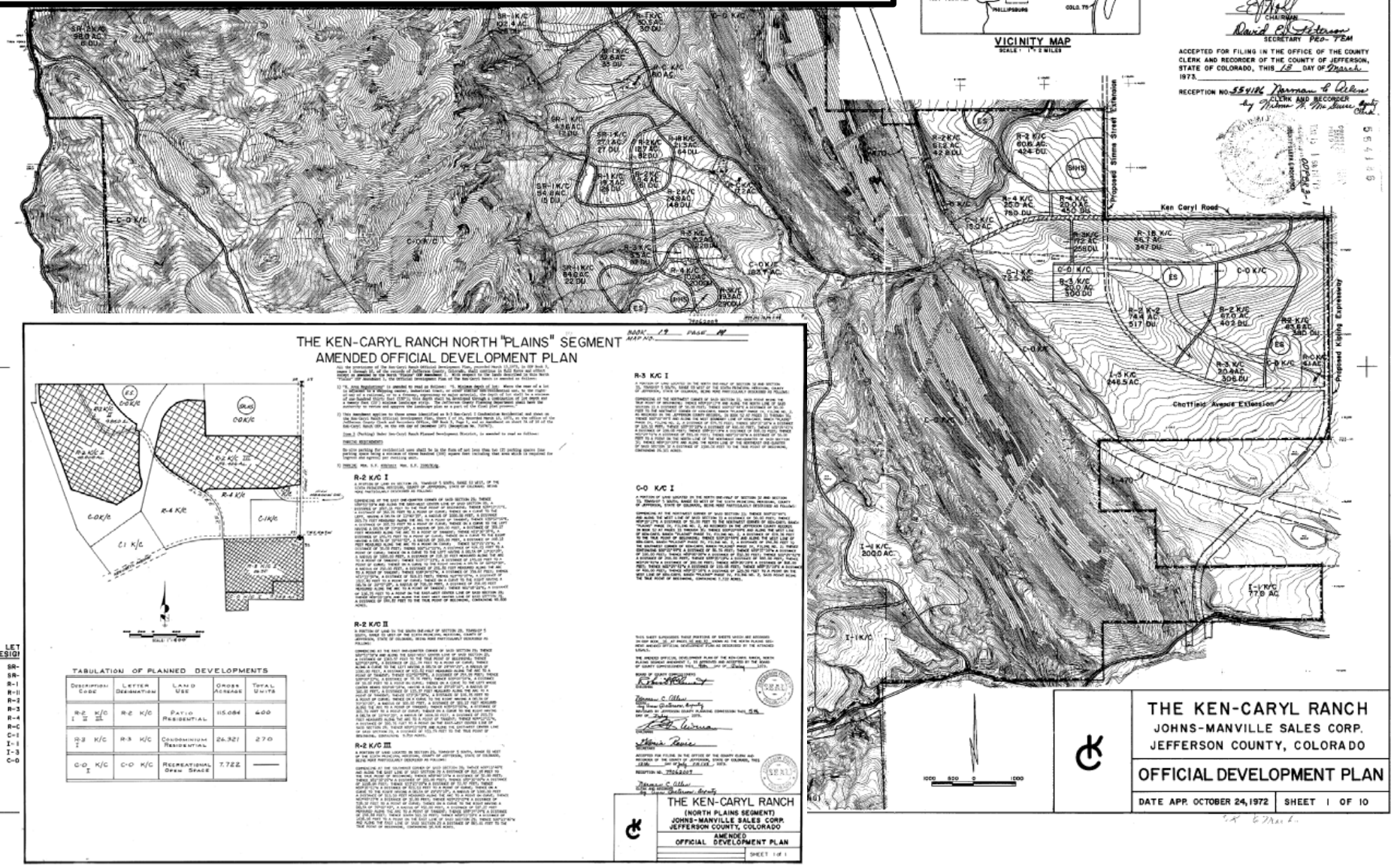
C470
S SIMMS ST
S KIPLING
W. KEN CARYL AVE
W CHATFIELD AVE

Proposal

- To subdivide the property into 199 lots for single-family attached units and several tracts for access, drainage, communal amenities, common area and park land.

The Ken-Caryl Ranch North "Plains" Segment Amended Official Development Plan

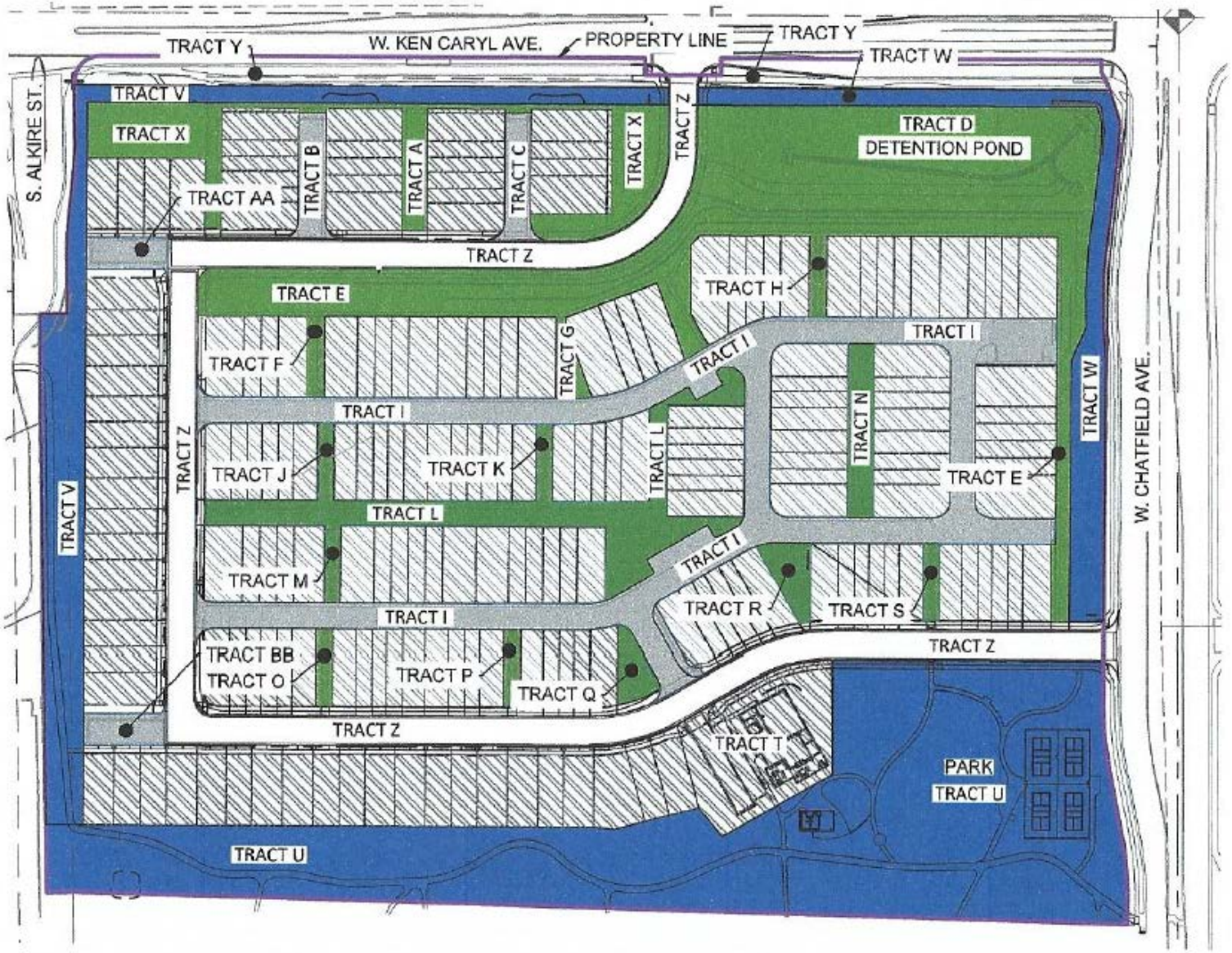
Reception Number: 79062009 (Orig. 73554186)



The Preliminary and Final Plat was reviewed against the following sections for compliance:

- Lot and Tract Standards
- Circulation
- Water Supply Wastewater and Utilities
- Fire Protection
- Drainage
- Geologic and Geotechnical
- Sensory Impacts
- Wildlife Vegetation and Landscaping
- Historical Archaeological and Paleontological

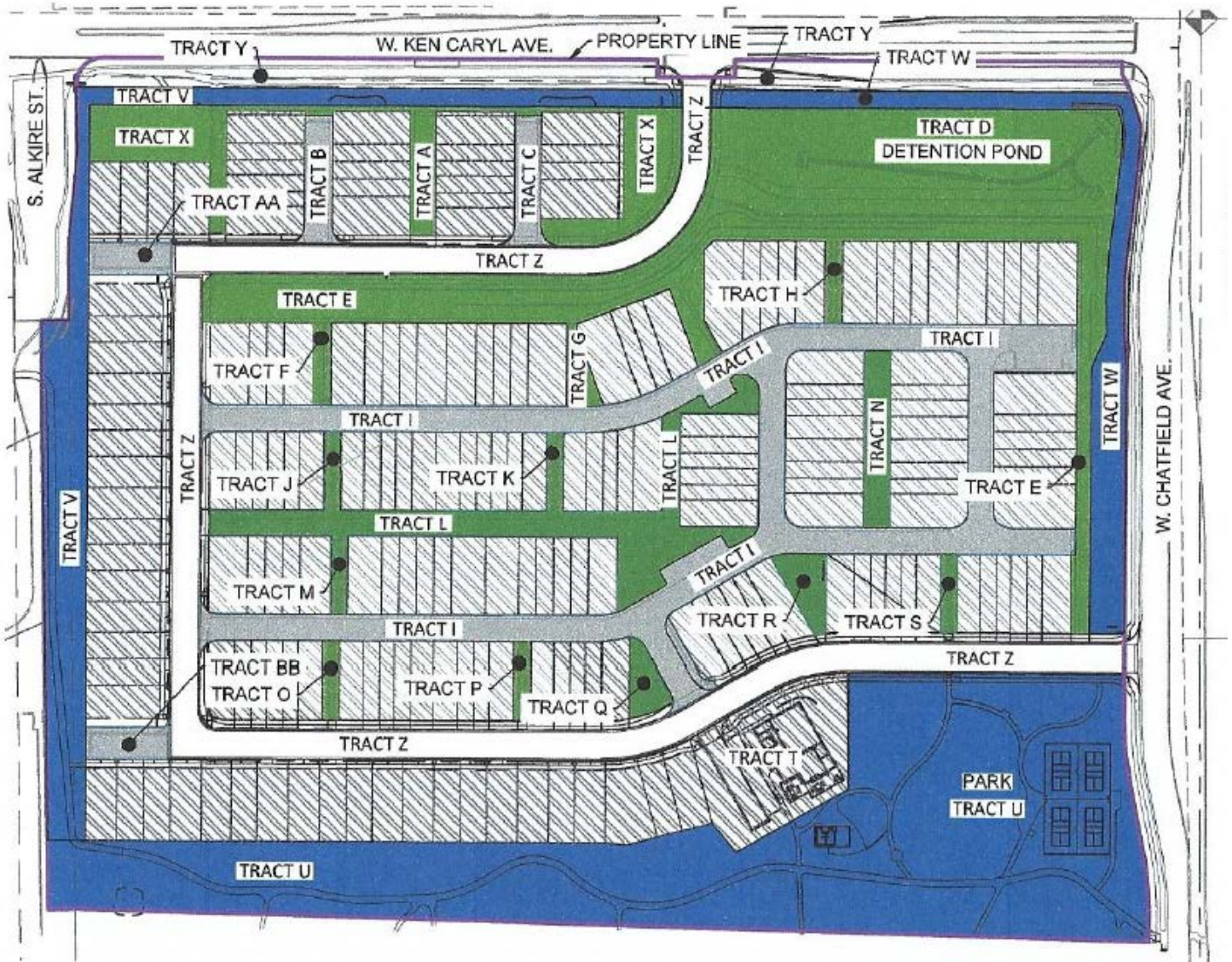
Lot and Tract Standards



Minor Variations

- During the processing of this case, the Director of Planning Zoning granted Minor Variation Requests (21-138542MVR):
  - Allowing 367 square feet of covered parking where 400 square feet is required for 174 townhome units with a two-car garage
  - Allowing 324 square feet of covered parking for 27 townhome units with a single car garage.

Circulation



Water Supply and Wastewater

- The Ken Caryl Ranch Water and Sanitation District will provide water and sewer services for the subdivision
- The DWR commented that the proposed water supply will not cause injury to existing water rights
- Water supply is in conformance with Section 21 (Water Supply) of the LDR
- Wastewater is in conformance with Section 22 (Wastewater) of the LDR

Utilities

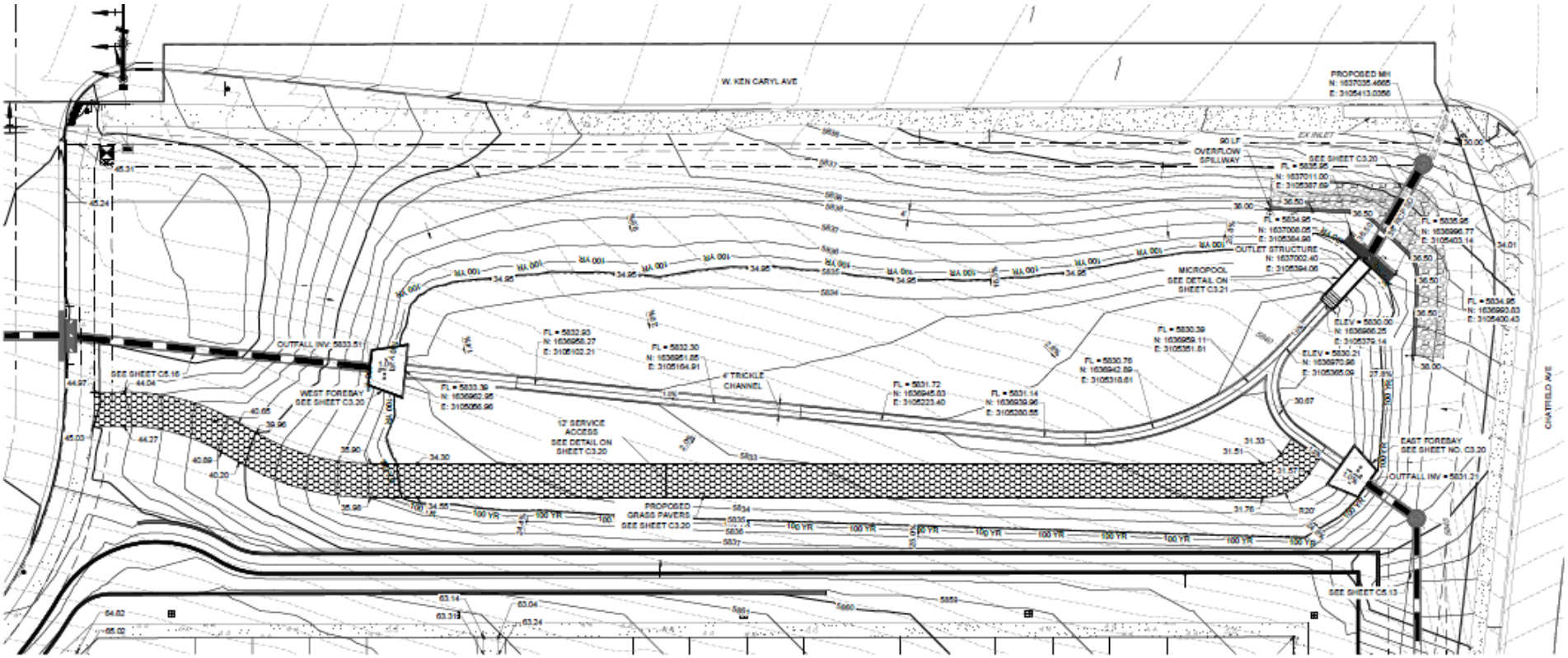
- Served by Public Service Company of Colorado (XCEL) and Lumen
- The utilities for this subdivision are in conformance with Section 23 (Utilities) of the LDR

Fire Protection

- West Metro Fire Protection District has deemed the proposal to be acceptable and will provide fire protection for the subject property.
- Fire protection for this subdivision complies with Section 24 (Fire Protection) of the LDR

Drainage

- Drainage for this subdivision complies with Section 18 (Drainage) of the LDR



Geologic and Geotechnical

- Underlain by Dipping Bedrock
- Underdrain maintenance plan and subsurface groundwater collection system
- Geology and geologic hazards associated with the proposed development comply with Section 25 (Geologic and Geotechnical) of the Land Development Regulation.

Sensory Impacts

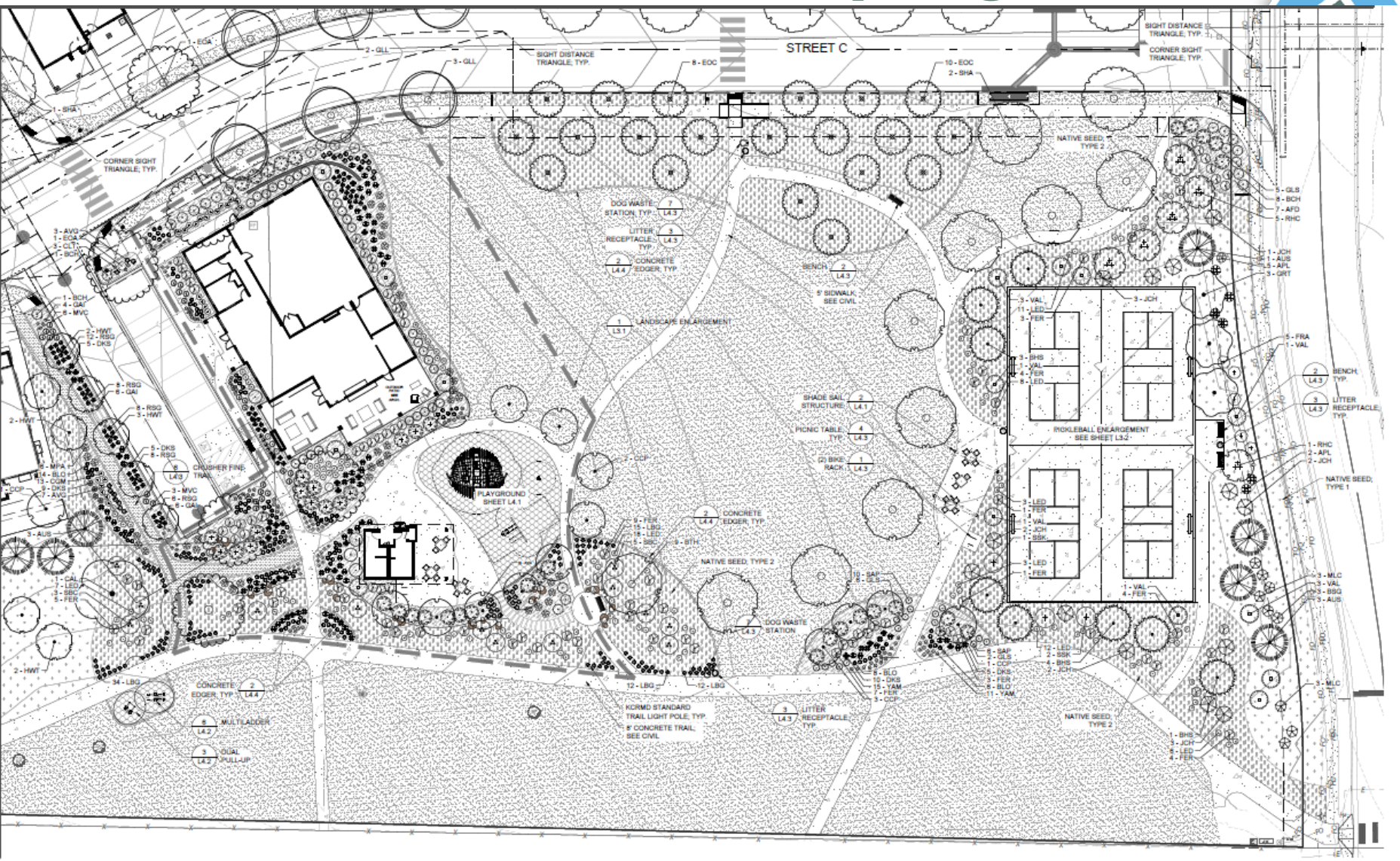
- Due to the proximity of these homes to C470 and Ken Caryl Avenue, this development was identified by the Sensory Impact Assessment/Study as an area that will experience elevated noise levels. To address the elevated noise levels, the applicant is proposing the following:
  - Utilization of building materials which provide additional noise mitigation
    - Additional attic insulation, exterior glazing and higher rated windows
  - Construction of a fence sound barrier along the western side of the development
  - Recordation of the Noise Disclosure Statement

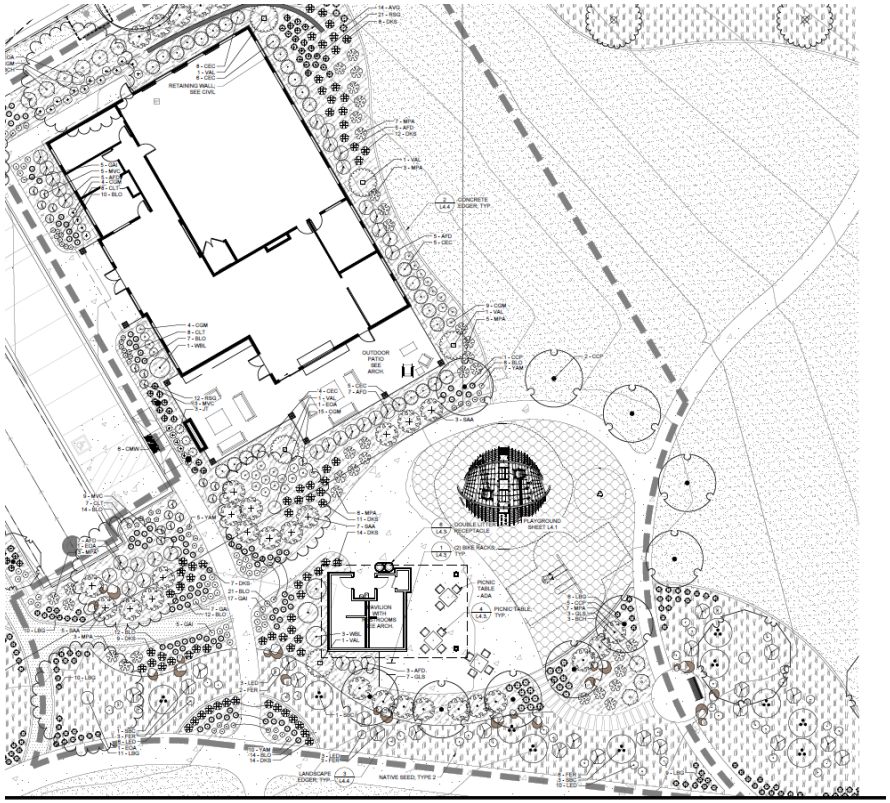
Wildlife and Vegetation

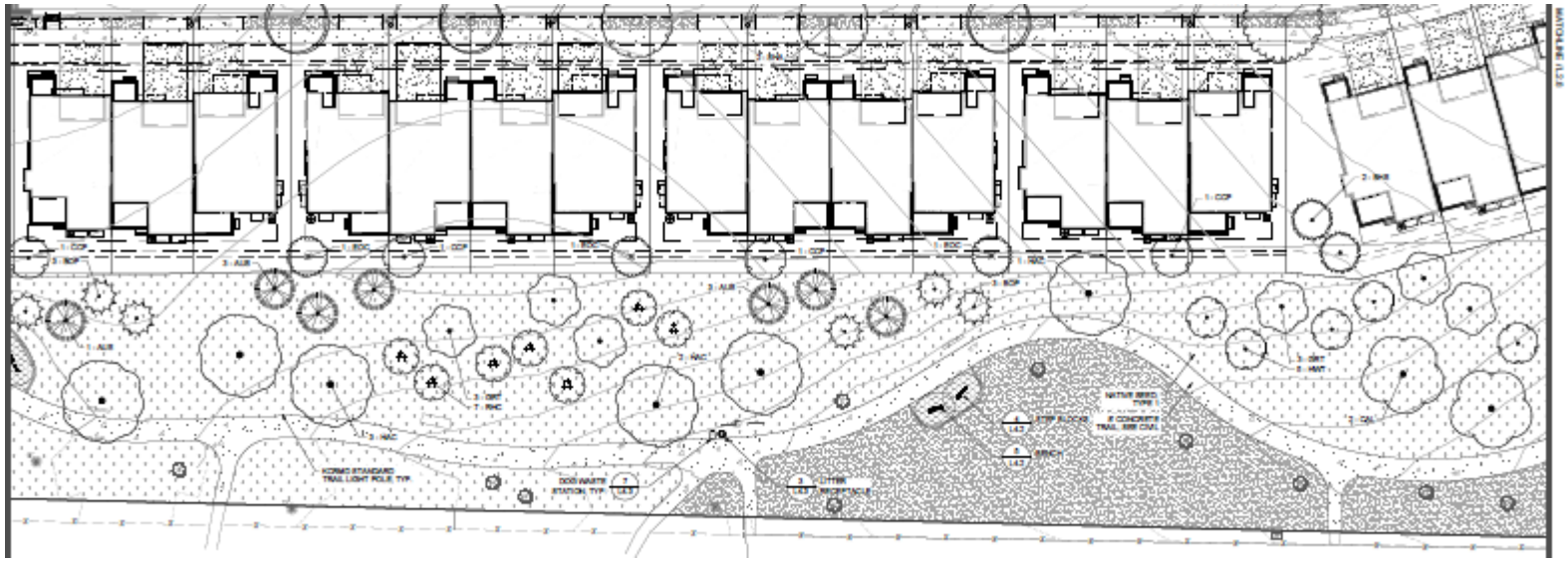
- Wildlife and Vegetation associated with the proposed development complies with Section 28 (Wildlife and Vegetation) of the Land Development Regulation.

- Colorado Parks and Wildlife Recommendations:
  - Clustered housing
  - Utilization of Native plantings
  - Developed with wildlife movement in mind
  - Protection of wetlands
  - Limit Transport of Noxious Weeds
  - Protect Raptors and other Migratory Birds

Parks and Landscaping




RETAINING WALL SEE CIVIL
OUTDOOR PATIO SEE ARCH
CONCRETE EDGER, TYP
PLAYGROUND SHEET L4.1
DOUBLE LITTER RECEPTACLE
(2) BIKE RACKS, TYP
PICNIC TABLE - ADA
PICNIC TABLE, TYP
PAVILION WITH RESTROOMS SEE ARCH
LANDSCAPE EDGER, TYP
NATIVE SEED, TYPE 2


KORMO STANDARD TRAIL LIGHT POLE, TYP
DOG WASTE STATION, TYP
LITTER RECEPTACLE
STEP BLOCKS
BENCH
NATIVE SEED, TYPE 1
8' CONCRETE TRAIL, SEE CIVIL

Historical, Archaeological, and Paleontological

- At the applicant's request, the Office of Archaeology and Historic Preservation conducted a search of the Colorado Inventory of Cultural Resources within the property. As a result, no sites were located, and no further analysis or study was required.
- The historical, archeological and paleontological requirements for this subdivision comply with Section 31 (Historical, Archaeological, and Paleontological) of the Land Development Regulation.

Summary of Staff Position

- This plat meets the requirements of the Land Development Regulation, Zoning Resolution, Storm Drainage Design and Technical Criteria and the Transportation Design and Construction Manual.

- Staff recommends approval subject to the conditions summarized in the Staff Report. The plat would not be recorded until the conditions of approval are met.

Questions?